

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
AUGUST 27, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

(2) **P2024-028 (HENRY LEE)**

Consider a request by Ben Sanchez of Parkhill on behalf of Frank New of Rockwall County for the approval of a Replat for Lots 3 & 4, Block A, Rockwall County Courthouse Addition being a 12.789-acre parcel of land identified as Lot 1, Block A, Rockwall County Courthouse Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963 E. Yellow Jacket Lane, and take any action necessary.

(3) **P2024-029 (BETHANY ROSS)**

Consider a request by Justin Toon of Reserve Capital – Rockwall Industrial SPE for the approval of a Final Plat for Lot 1, Block A, Revelation Addition being a 18.480-acre tract of land identified as Tracts 1, 1-3 & 1-7 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 1725 SH-276, and take any action necessary.

(V) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(4) **SP2024-038 (ANGELICA GUEVARA)**

Discuss and consider a request by Eric Williams of Teague, Nall & Perkins on behalf of Elisa Cardona of the North Texas Municipal Water District for the approval of a Site Plan for a Municipally Controlled Utility Substation on a 0.40-acre portion of a larger 44.557-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 10 (SF-10) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located north of the intersection of John King Boulevard and FM-552, and take any action necessary.

(5) **MIS2024-017 (BETHANY ROSS)**

Discuss and consider a request by Danny Mayberry on behalf of Eastridge Church of Christ for the approval of a Miscellaneous Case for an Exception for a Front Yard Fence on a 15.159-acre parcel of land identified as Lot 1, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, addressed as 670 N. Stodghill Road, and take any action necessary.

(6) **MIS2024-018 (HENRY LEE)**

Discuss and consider a request by Mike Feather of Kimley-Horn on behalf of John Wardell of Lakepointe Church for the approval of a *Miscellaneous Case* for an *Alternative Tree Mitigation Settlement Agreement* on a 34.4904-acre parcel of land identified as Lot 3, Block A, Lake Pointe Baptist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 701 E. IH-30, and take any action necessary.

(VI) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is August 13, 2024.

(7) **Z2024-035 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by William S. Dahlstrom of Jackson Walker, LLP on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a *Zoning Change* from a Commercial (C) District to a Planned Development District for Commercial (C) District land uses on a 67.475-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

(8) **Z2024-036 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.

(9) **Z2024-039 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Scott Popescu of Brookhaven Media for the approval of a *Specific Use Permit (SUP)* for a *Short-Term Rental* on a 0.25-acre parcel of land identified as Lot 2, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 4153 Panther Ridge Lane, and take any action necessary.

(10) **Z2024-040 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Carol A. Byrd for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.2850-acre parcel of land identified as Lot 5B, Block 5, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 403 E. Kaufman Street, and take any action necessary.

(11) **SP2024-039 (HENRY LEE)**

Discuss and consider a request by Cody Johnson of Johnson Volk Consulting on behalf of Kyle Tressler of Qualico Development, Inc. for the approval of a *Site Plan* for an *Amenity Center* for the Peachtree Meadows Subdivision situated on a 1.06-acre portion of a larger 45.95-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [*Ordinance No. 23-11*] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

(12) *Director's Report* of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2024-027: Replat for the Winding Creek Subdivision **(APPROVED)**
- SP2024-014: Alternative Tree Mitigation Settlement Agreement for a *Retail Building and Daycare Facility* on E. Ralph Hall Parkway **(APPROVED)**
- MIS2024-001: Resolution Establishing the Public Hearing Date for the Adoption of Roadway, Water, and Wastewater Impact Fees **(APPROVED)**
- Z2024-031: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 510 W. Kaufman Street **(1ST READING; APPROVED)**
- Z2024-032: Amendment to Planned Development District 13 (PD-13) **(1ST READING; APPROVED)**
- Z2024-033: Zoning Change (AG to PD) for the Juniper Subdivision **(DENIED WITHOUT PREJUDICE)**
- Z2024-034: Specific Use Permit (SUP) for a *Short-Term Rental* at 161 Walnut Lane **(DENIED)**

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on August 23, 2024 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 27, 2024
APPLICANT: Ben Sanchez; *Parkhill*
CASE NUMBER: P2024-028; *Replat for 1111 E. Yellow Jacket Lane*

SUMMARY

Consider a request by Ben Sanchez of Parkhill on behalf of Frank New of Rockwall County for the approval of a Replat for Lots 3 & 4, Block A, Rockwall County Courthouse Addition being a 12.789-acre parcel of land identified as Lot 1, Block A, Rockwall County Courthouse Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963 E. Yellow Jacket Lane, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting approval of a Replat for the 12.789-acre parcel of land (*i.e. Lot 1, Block A, Rockwall County Courthouse Addition*) for the purpose of subdividing the subject property and establishing new easements associated with the development of the subject property. The applicant's request meets all of the technical requirements outlined within the *Subdivision Ordinance [Chapter 38, Subdivisions, Municipal Code of Ordinances]*.
- Background. The subject property was originally annexed into the City of Rockwall on September 5, 1960 by *Ordinance No. 60-02*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the 1983 historic zoning map, at some point between January 3, 1972 and May 16, 1983 the property was zoned from an Agricultural (AG) District to a Commercial (C) District. On May 17, 2010, the City Council approved a final plat [*Case No. P2010-007*] that established the subject property as Lot 1, Block A, Rockwall County Courthouse Addition. According to the Rockwall Central Appraisal District (RCAD), a 121,208 SF Government Facility (*i.e. Rockwall County Courthouse*) was constructed in 2011. On December 12, 2023, the Planning and Zoning Commission approved a motion to approve a site plan [*Case No. SP2023-034*] on the subject property.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lots 3 & 4, Block A, Rockwall County Courthouse Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to the filing of this Replat; and,

- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/23/2024

PROJECT NUMBER: P2024-028
PROJECT NAME: Replat for Rockwall County Courthouse
SITE ADDRESS/LOCATIONS: 1111 E YELLOW JACKET LN

CASE CAPTION: Consider a request by Ben Sanchez of Parkhill on behalf of Frank New of Rockwall County for the approval of a Replat for Lots 3 & 4, Block A, Rockwall County Courthouse Addition being a 12.789-acre parcel of land identified as Lot 1, Block A, Rockwall County Courthouse Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963 E. Yellow Jacket Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/23/2024	Needs Review

08/23/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lots 3 & 4, Block A, Rockwall County Courthouse Addition being a 12.789-acre parcel of land identified as Lot 1, Block A, Rockwall County Courthouse Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963 E. Yellow Jacket Lane.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2024-028) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

Final Plat
Lots 3 & 4, Block A,
Rockwall County Courthouse Annex Addition
Being a Replat of
Lots 1 & 2, Block A,
Rockwall County Courthouse Annex Addition
Being
2 Lots
12.789 Acres or 557,088.84 SF
Situated in the
J. Cadle Survey, Abstract No. 65 and
F. R. Henderson Survey, Abstract 119
City of Rockwall, Rockwall County, Texas

M.5 Please change the subdivision to Rockwall County Courthouse Addition. With this the lot and block will be Lots 3 & 4, Block A. Please correct the plat callouts to reflect the correct Lot and Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please indicate N. T. L. Townsend on the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please indicate the right-of-way and centerline for E. Yellow Jacket Lane. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Please correct the Owner Certification to match the Subdivision Ordinance Section 38-7(1)(A)(1). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Please correct the General Notes to match the Subdivision Ordinance Section 38-7(1)(A)(1). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.10 Please update the owners signature block and the City signature block to match the Subdivision Ordinance Section 38-7(1)(A)(1). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.12 The projected meeting dates for this case are as follows:

Planning and Zoning Commission: August 27, 2024

City Council: September 3, 2024

I.13 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/22/2024	Approved w/ Comments

08/22/2024: 1. In short...the property is responsible for all maintenance, repair, and replacement of all drainage and detention in easements and on-site. If future design deviations for the approved detention system occur, these must be approved by the City of Rockwall.

2. All fire lanes and public access to be maintained, repaired, and replaced by the property owner.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/19/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/19/2024	Approved w/ Comments

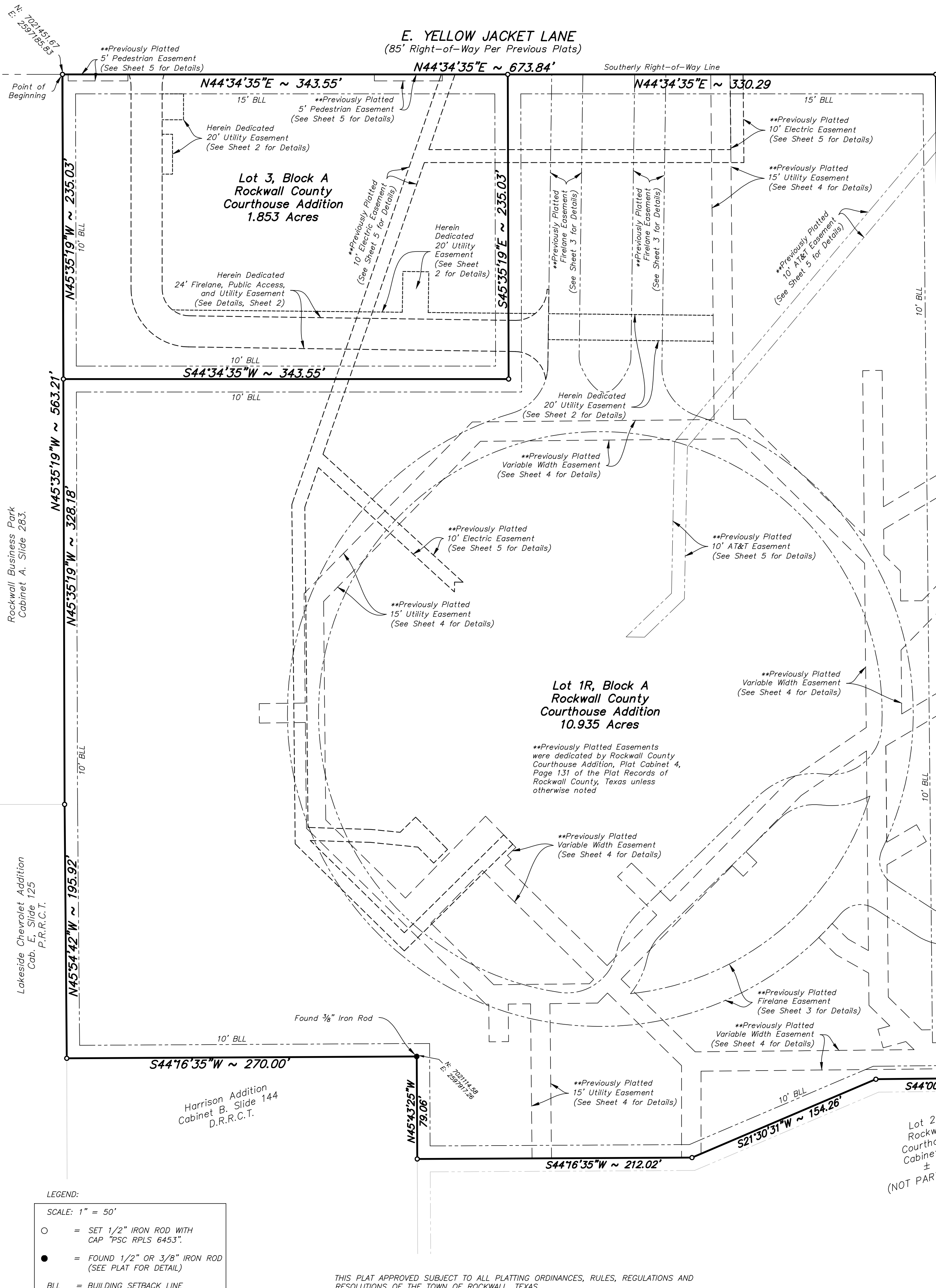
08/19/2024: *New building will be 1101 E YELLOW JACKET LN, ROCKWALL, TX 75087

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/16/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/19/2024	Approved

No Comments



E. YELLOW JACKET LANE
(85' Right-of-Way Per Previous Plats)

LEGEND:
SCALE: 1" = 50'
○ = SET 1/2" IRON ROD WITH CAP "PSC RPLS 6453"
● = FOUND 1/2" OR 3/8" IRON ROD (SEE PLAT FOR DETAIL)
BLL = BUILDING SETBACK LINE

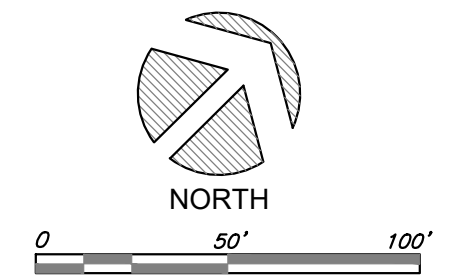
THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE TOWN OF ROCKWALL, TEXAS.

WITNESS MY HAND THIS _____ DAY OF _____ 20____
FOR: ROCKWALL COUNTY

BY (PRINT NAME): _____

KNOW ALL MEN BY THESE PRESENTS: THAT I, SAMUEL WYATT DO HEREBY CERTIFY THAT THIS PLAT AND THE LEGAL DESCRIPTIONS MADE A PART THEREOF WERE PREPARED FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND MADE UNDER MY PERSONAL SUPERVISION AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE TOWN OF PROSPER, TEXAS.

DATED THIS THE 14TH DAY OF AUGUST, 2024
SAMUEL WYATT
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6453



STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS ROCKWALL COUNTY IS THE OWNER OF A TRACT OF LAND SITUATED IN THE JOSEPH CADLE SURVEY, ABSTRACT NO. 65 AND THE FRANCIS R. HENDERSON SURVEY, ABSTRACT NO. 119, ROCKWALL COUNTY, TEXAS, BEING THE SAME CERTAIN TRACT OF LAND DESCRIBED AS LOT 1, BLOCK A, ROCKWALL COUNTY COURTHOUSE ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET H, SLIDE 131, MAP RECORDS ROCKWALL COUNTY, TEXAS, SAID TRACT FURTHER DESCRIBED AS FOLLOWS:

ALL OF LOT 1, BLOCK A, ROCKWALL COUNTY COURTHOUSE ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE MAP, PLAT AND/OR DEDICATION DEED THEREOF RECORDED IN PLAT CABINET "H", SLIDE 131 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS, SAID LOT 1 BEING SITUATED IN THE JOSEPH CADLE SURVEY, ABSTRACT NUMBER 65 AND THE FRANCIS R. HENDERSON SURVEY, ABSTRACT NUMBER 119, ROCKWALL COUNTY, TEXAS, SAID LOT 1 CONTAINS 12.789 ACRES BEING FURTHER DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

- THE NORTHERLY CORNER OF SAID LOT 1 BEING SITUATED IN THE JOSEPH CADLE SURVEY, ABSTRACT NUMBER 65 AND THE FRANCIS R. HENDERSON SURVEY, ABSTRACT NUMBER 119, ROCKWALL COUNTY, TEXAS, SAID LOT 1 CONTAINS 12.789 ACRES BEING FURTHER DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
- THENCE NORTH 44 DEGREES 34 MINUTES 35 SECONDS EAST, A DISTANCE OF 673.84 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET FOR THE MOST NORTHERLY CORNER OF LOT 1;
- THENCE SOUTH 45 DEGREES 59 MINUTES 30 SECONDS EAST A DISTANCE OF 737.05 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
- THENCE NORTH 44 DEGREES 10 MINUTES 13 SECONDS EAST A DISTANCE OF 411.66 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
- THENCE SOUTH 66 DEGREES 56 MINUTES 47 SECONDS EAST A DISTANCE OF 47.81 FEET TO A PK NAIL WASHER MARKED "PARKHILL RPLS 6453" SET FOR THE MOST EASTERLY CORNER OF LOT 1;
- THENCE SOUTH 23 DEGREES 02 MINUTES 44 SECONDS WEST A DISTANCE OF 69.42 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
- THENCE SOUTH 44 DEGREES 00 MINUTES 22 SECONDS WEST A DISTANCE OF 84.46 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
- THENCE SOUTH 86 DEGREES 08 MINUTES 54 SECONDS WEST A DISTANCE OF 49.16 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
- THENCE SOUTH 44 DEGREES 00 MINUTES 30 SECONDS WEST A DISTANCE OF 296.90 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
- THENCE SOUTH 21 DEGREES 30 MINUTES 31 SECONDS WEST A DISTANCE OF 154.26 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
- THENCE SOUTH 44 DEGREES 16 MINUTES 35 SECONDS WEST A DISTANCE OF 212.02 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
- THENCE NORTH 45 DEGREES 43 MINUTES 25 SECONDS WEST A DISTANCE OF 79.06 FEET TO A 3/8-INCH IRON ROD FOUND AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
- THENCE SOUTH 44 DEGREES 16 MINUTES 35 SECONDS WEST A DISTANCE OF 270.00 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET FOR THE MOST SOUTHERLY CORNER OF SAID LOT 1;
- THENCE NORTH 45 DEGREES 54 MINUTES 42 SECONDS WEST A DISTANCE OF 195.92 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
- THENCE NORTH 45 DEGREES 35 MINUTES 19 SECONDS WEST A DISTANCE OF 563.21 FEET TO THE POINT OF BEGINNING, BEARINGS AND COORDINATES CALLED IN THIS DESCRIPTION ARE BASED ON THE TEXAS COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. DISTANCES CALLED IN THIS DESCRIPTION ARE AT SURFACE. AREAS CALLED IN THIS DESCRIPTION ARE BASED ON CALCULATIONS MADE FROM SURFACE DISTANCES.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT ROCKWALL COUNTY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY CERTIFY AND ADOPT THIS PLAT DESIGNATION THE HEREIN ABOVE DESCRIBED PROPERTY AS LIGHTHOUSE CHURCH ADDITION, LOT 2R, BLOCK A, AN ADDITION TO ROCKWALL COUNTY, AND DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER, THE STREETS AND ALLEYS SHOWN THEREON. ROCKWALL COUNTY DOES HEREBY CERTIFY THE FOLLOWING:

- THE STREETS AND ALLEYS ARE DEDICATED TO THE CITY OF ROCKWALL, TEXAS IN FEE SIMPLE FOR STREET AND ALLEY PURPOSES.
- ALL PUBLIC IMPROVEMENTS AND DEDICATIONS SHALL BE FREE AND CLEAR OF ALL DEBT, LIENS, AND/OR ENCUMBRANCES.
- THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER FOR THE PURPOSES INDICATED ON THIS PLAT.
- NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS IF APPROVED BY ROCKWALL COUNTY, and the City of Rockwall or the City of Rockwall.
- ROCKWALL COUNTY IS NOT RESPONSIBLE FOR REPLACING ANY IMPROVEMENTS IN UNDER, OR OVER ANY EASEMENTS CAUSED BY MAINTENANCE OR REPAIR, UNLESS IT IS THE PROPERTY OF THE COUNTY OR THE CITY.
- UTILITY EASEMENTS MAY ALSO BE USED FOR MUTUAL USE AND ACCOMMODATION, OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND ROCKWALL COUNTY USE THEREOF.
- ROCKWALL COUNTY AND PUBLIC UTILITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN THE EASEMENTS.
- ROCKWALL COUNTY AND PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCURING PERMISSION FROM ANYONE.
- ALL MODIFICATIONS TO THIS DOCUMENT SHALL BE BY METES OF PLAT AND APPROVED BY THE CITY OF ROCKWALL.
- THE UNDERSIGNED COVENANTS AND AGREES THAT HE SHALL CONSTRUCT UPON THE FIRE LANE EASEMENTS, AS DEDICATED AND SHOWN HEREON, A HARD SURFACE PAVED IN ACCORDANCE WITH THE CITY OF ROCKWALL (TOWN) STANDARDS AND THAT HE SHALL MAINTAIN THE SAME IN A STATE OF GOOD REPAIR AT ALL TIMES AND KEEP THE SAME FREE AND CLEAR OF ANY STRUCTURES, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR OBSTRUCTION, INCLUDING BUT NOT LIMITED TO THE PARKING, LOADING OR UNLOADING OF MOTOR VEHICLES, TRAILERS, BOATS, OR OTHER IMPEDIMENTS TO THE ACCESS OF THE FIRE APPARATUS. THE MAINTENANCE OF PAVEMENT IN ACCORDANCE TO THE TOWN STANDARDS OF THE FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE OWNER, AND THE OWNER SHALL POST AND MAINTAIN SIGNAGE IN ACCORDANCE TO TOWN STANDARDS IN CONSPICUOUS PLACES ALONG THE FIRE LANES STATING "FIRE LANE, NO PARKING". THE POLICE OR THEIR DULY AUTHORIZED REPRESENTATIVE IS HEREBY AUTHORIZED TO CAUSE SUCH FIRE LANES AND UTILITY EASEMENTS TO BE MAINTAINED FREE AND UNOBSTRUCTED AT ALL TIMES FOR FIRE DEPARTMENT AND EMERGENCY USE.
- THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE TOWN WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION, NO OBSTRUCTION TO THE NATURAL FLOW OF STORM WATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT, AS HEREIN ABOVE DEFINED, UNLESS APPROVED BY THE TOWN ENGINEER PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE TOWN TO ERECT OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY DRAINAGE IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE TOWN SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE TOWN SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE TOWN SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR FOR THE COLLAPSE OF ANY STRUCTURE OR STRUCTURES, WITHIN THE EASEMENT.

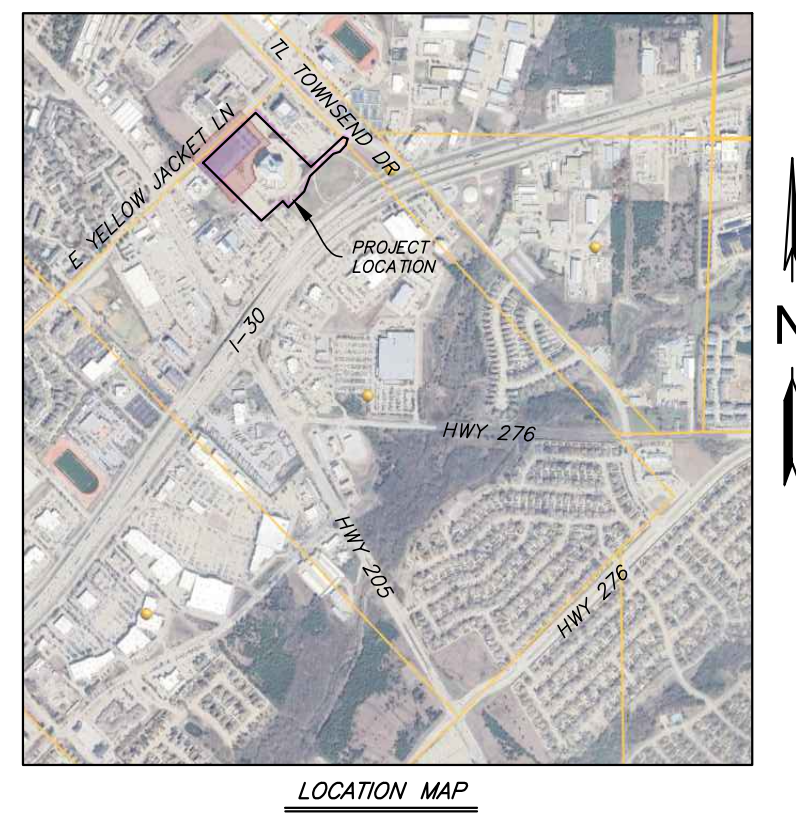
All fire lanes and public access to be maintained, repaired, and replaced by the property owner.

In short...the property is responsible for all maintenance, repair, and replacement of all drainage and detention in easements and on-site. If approved design deviations for the future detention system occur, these must be approved by the City of Rockwall.

CERTIFICATE OF APPROVAL
APPROVED THIS _____ DAY OF _____ BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL

SECRETARY _____ TOWN
ENGINEER _____ TOWN
PLANNING DEPARTMENT

OWNER/APPLICANT: ROCKWALL COUNTY
101 E. RUSK STREET
ROCKWALL, TX 75087
P (972) 204-7000
CONTACT: SAMUEL WYATT, RPLS
LAND SURVEYOR: PARKHILL
4222 85TH STREET
LUBBOCK, TX 79423
CONTACT: SAMUEL WYATT, RPLS
CIVIL ENGINEER: PARKHILL
3000 INTERNET BLVD, SUITE 550
FRISCO, TEXAS 75034
CONTACT: CHRIS SCHNITGER, P.E.



REPLAT
ROCKWALL COUNTY COURTHOUSE ANNEX ADDITION

A REPLAT OF 12.789 ACRES BEING LOT 1, BLOCK A, FINAL PLAT OF ROCKWALL COUNTY COURTHOUSE ADDITION
OUT OF JOSEPH CADLE SURVEY, ABSTRACT NO. 65 AND THE FRANCIS R. HENDERSON SURVEY, ABSTRACT NO. 119 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



FP-1
SHEET 1 OF 5



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING _____ ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1111 E YELLOW JACKET LANE, ROCKWALL, TX 75087

SUBDIVISION ROCKWALL COUNTY COURTHOUSE ADDITION LOT 1 BLOCK A

GENERAL LOCATION Grass area 300 ft NW of County Clerk Building

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	COMMERCIAL - C	CURRENT USE	VACANT
PROPOSED ZONING	NONE	PROPOSED USE	ROCKWALL COUNTY ANNEX BLDG
ACREAGE	1.853 (new development) 12.789 (lot)	LOTS [CURRENT]	1
		LOTS [PROPOSED]	2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	ROCKWALL COUNTY	<input checked="" type="checkbox"/> APPLICANT	PARKHILL
CONTACT PERSON	JUDGE FRANK NEW	CONTACT PERSON	BEN SANCHEZ, P.E.
ADDRESS	1111 E YELLOW JACKET LANE	ADDRESS	3000 INTERNET BLVD, STE 550
CITY, STATE & ZIP	ROCKWALL, TX 75087	CITY, STATE & ZIP	FRISCO, TX 75034
PHONE	972-204-6000	PHONE	972-987-1670
E-MAIL	fnew@rockwallcountytexas.com	E-MAIL	BSANCHEZ@PARKHILL.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Frank New [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

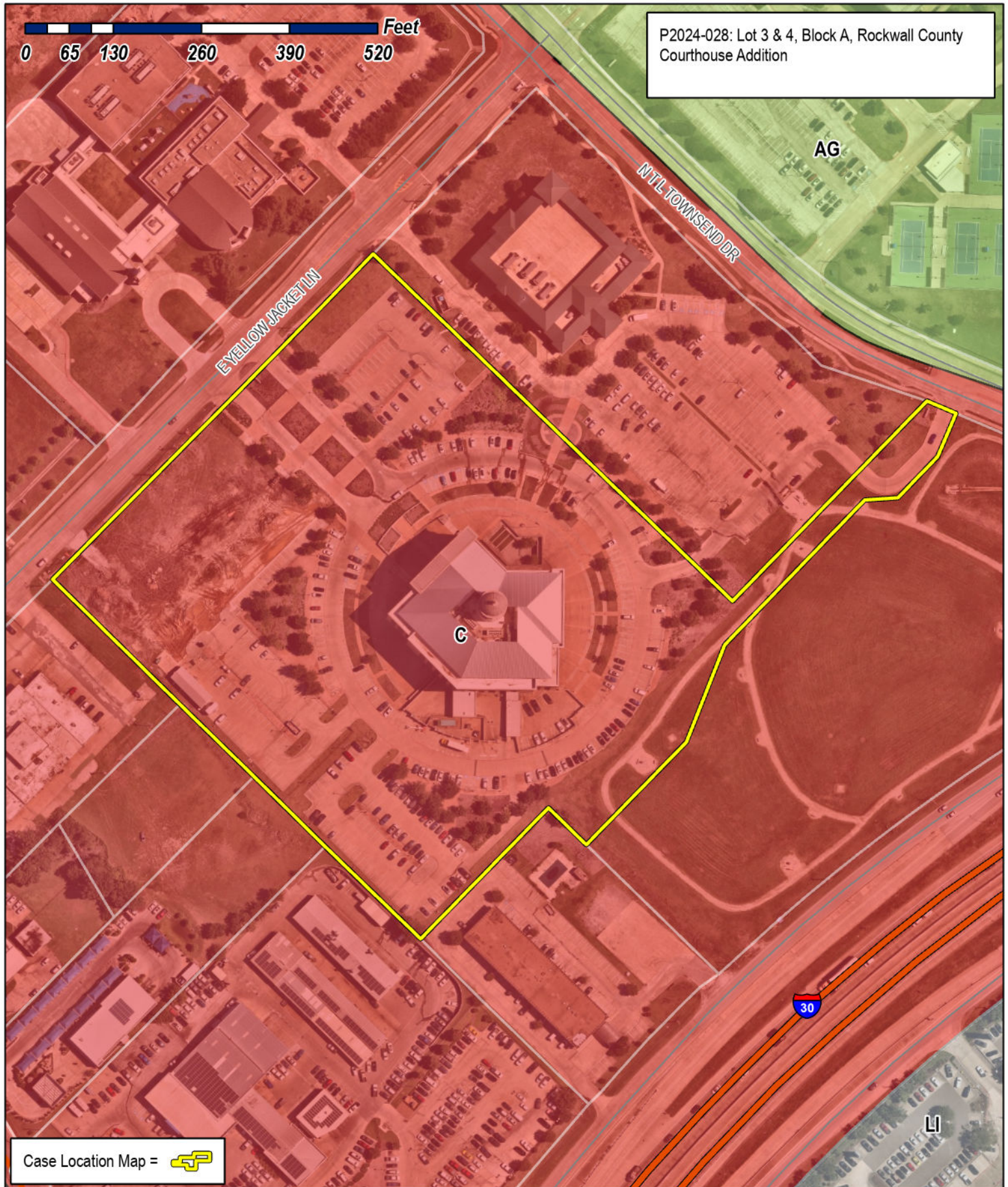
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



P2024-028: Lot 3 & 4, Block A, Rockwall County Courthouse Addition

0 65 130 260 390 520 Feet

Case Location Map = 

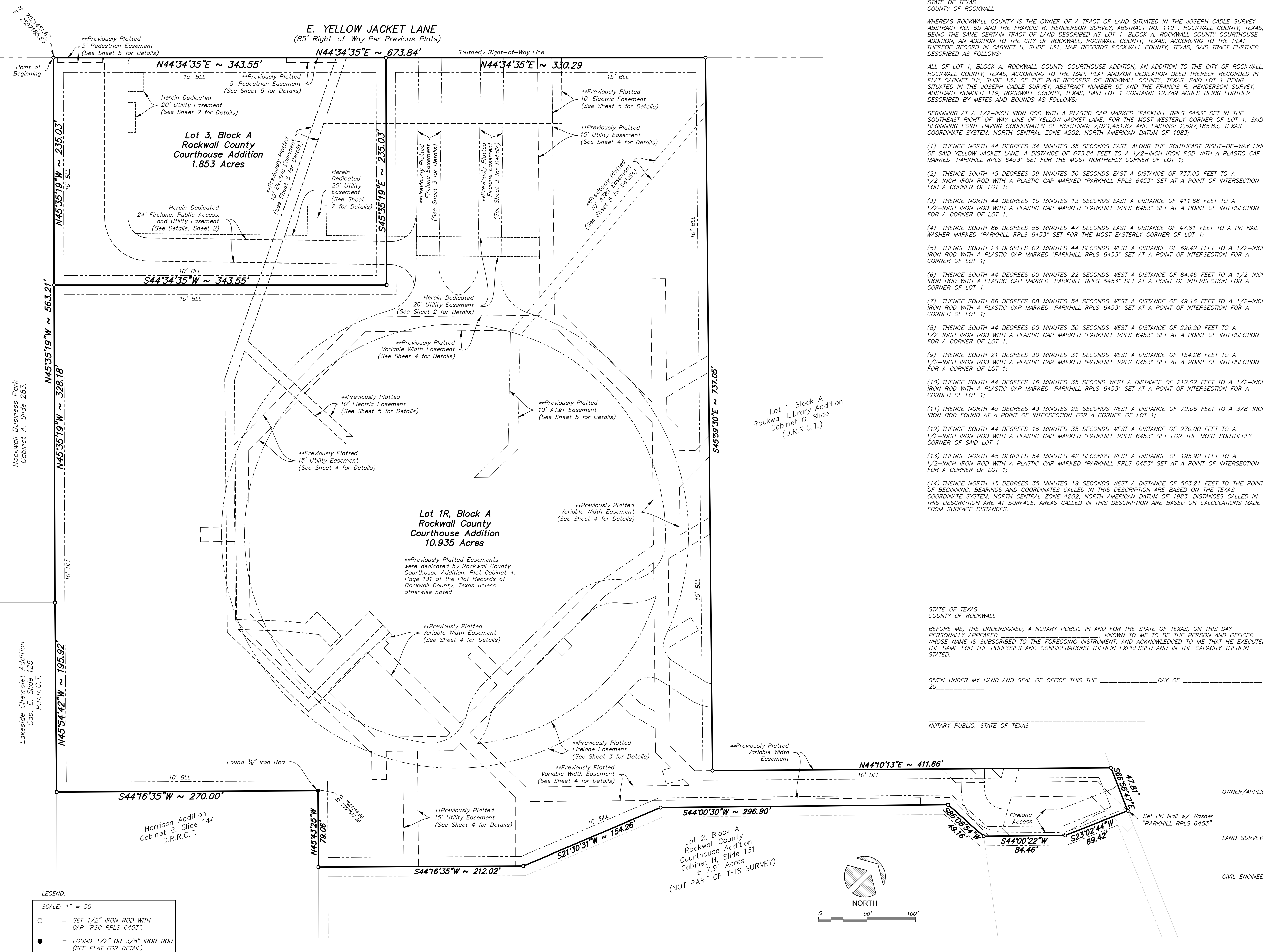


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS ROCKWALL COUNTY IS THE OWNER OF A TRACT OF LAND SITUATED IN THE JOSEPH CADLE SURVEY, ABSTRACT NO. 65 AND THE FRANCIS R. HENDERSON SURVEY, ABSTRACT NO. 119, ROCKWALL COUNTY, TEXAS, BEING THE SAME CERTAIN TRACT OF LAND DESCRIBED AS LOT 1, BLOCK A, ROCKWALL COUNTY COURTHOUSE ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET H, SLIDE 131, MAP RECORDS ROCKWALL COUNTY, TEXAS, SAID TRACT FURTHER DESCRIBED AS FOLLOWS:

ALL OF LOT 1, BLOCK A, ROCKWALL COUNTY COURTHOUSE ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE MAP, PLAT AND/OR DEDICATION DEED THEREOF RECORDED IN PLAT CABINET "H", SLIDE 131 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS, SAID LOT 1 BEING SITUATED IN THE JOSEPH CADLE SURVEY, ABSTRACT NUMBER 65 AND THE FRANCIS R. HENDERSON SURVEY, ABSTRACT NUMBER 119, ROCKWALL COUNTY, TEXAS, SAID LOT 1 CONTAINS 12.789 ACRES BEING FURTHER DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

- BEGINNING AT A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET IN THE SOUTHEAST RIGHT-OF-WAY LINE OF "YELLOW JACKET LANE, FOR THE MOST WESTERLY CORNER OF LOT 1, SAID BEGINNING POINT HAVING COORDINATES OF NORTHING: 7,021,451.67 AND EASTING: 2,597,185.83, TEXAS COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983;
- THENCE NORTH 44 DEGREES 34 MINUTES 35 SECONDS EAST, ALONG THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID YELLOW JACKET LANE, A DISTANCE OF 673.84 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET FOR THE MOST NORTHERLY CORNER OF LOT 1;
 - THENCE SOUTH 45 DEGREES 59 MINUTES 30 SECONDS EAST A DISTANCE OF 737.05 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
 - THENCE NORTH 44 DEGREES 10 MINUTES 13 SECONDS EAST A DISTANCE OF 411.66 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
 - THENCE SOUTH 66 DEGREES 56 MINUTES 47 SECONDS EAST A DISTANCE OF 47.81 FEET TO A PK NAIL WASHER MARKED "PARKHILL RPLS 6453" SET FOR THE MOST EASTERLY CORNER OF LOT 1;
 - THENCE SOUTH 23 DEGREES 02 MINUTES 44 SECONDS WEST A DISTANCE OF 69.42 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
 - THENCE SOUTH 44 DEGREES 00 MINUTES 22 SECONDS WEST A DISTANCE OF 84.46 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
 - THENCE SOUTH 86 DEGREES 08 MINUTES 54 SECONDS WEST A DISTANCE OF 49.16 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
 - THENCE SOUTH 44 DEGREES 00 MINUTES 30 SECONDS WEST A DISTANCE OF 296.90 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
 - THENCE SOUTH 21 DEGREES 30 MINUTES 31 SECONDS WEST A DISTANCE OF 154.26 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
 - THENCE SOUTH 44 DEGREES 16 MINUTES 35 SECONDS WEST A DISTANCE OF 212.02 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
 - THENCE NORTH 45 DEGREES 43 MINUTES 25 SECONDS WEST A DISTANCE OF 79.06 FEET TO A 3/8-INCH IRON ROD FOUND AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
 - THENCE SOUTH 44 DEGREES 18 MINUTES 35 SECONDS WEST A DISTANCE OF 270.00 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET FOR THE MOST SOUTHERLY CORNER OF SAID LOT 1;
 - THENCE NORTH 45 DEGREES 54 MINUTES 42 SECONDS WEST A DISTANCE OF 195.92 FEET TO A 1/2-INCH IRON ROD WITH A PLASTIC CAP MARKED "PARKHILL RPLS 6453" SET AT A POINT OF INTERSECTION FOR A CORNER OF LOT 1;
 - THENCE NORTH 45 DEGREES 35 MINUTES 19 SECONDS WEST A DISTANCE OF 563.21 FEET TO THE POINT OF BEGINNING, BEARINGS AND COORDINATES CALLED IN THIS DESCRIPTION ARE BASED ON THE TEXAS COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. DISTANCES CALLED IN THIS DESCRIPTION ARE AT SURFACE. AREAS CALLED IN THIS DESCRIPTION ARE BASED ON CALCULATIONS MADE FROM SURFACE DISTANCES.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT ROCKWALL COUNTY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY CERTIFY AND ADOPT THIS PLAT DESIGNATION THE HEREIN ABOVE DESCRIBED PROPERTY AS LIGHTHOUSE CHURCH ADDITION, LOT 2R, BLOCK A, AN ADDITION TO ROCKWALL COUNTY, AND DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER, THE STREETS AND ALLEYS SHOWN THEREON. ROCKWALL COUNTY DOES HEREBY CERTIFY THE FOLLOWING:

- THE STREETS AND ALLEYS ARE DEDICATED TO THE CITY OF ROCKWALL, TEXAS IN FEE SIMPLE FOR STREET AND ALLEY PURPOSES.
- ALL PUBLIC IMPROVEMENTS AND DEDICATIONS SHALL BE FREE AND CLEAR OF ALL DEBT, LIENS, AND/OR ENCUMBRANCES.
- THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER FOR THE PURPOSES INDICATED ON THIS PLAT.
- NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS IF APPROVED BY ROCKWALL COUNTY.
- ROCKWALL COUNTY IS NOT RESPONSIBLE FOR REPLACING ANY IMPROVEMENTS IN UNDER, OR OVER ANY EASEMENTS CAUSED BY MAINTENANCE OR REPAIR.
- UTILITY EASEMENTS MAY ALSO BE USED FOR MUTUAL USE AND ACCOMMODATION, OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND ROCKWALL COUNTY USE THEREOF.
- ROCKWALL COUNTY AND PUBLIC UTILITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY BE AN OBSTACLE OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN THE EASEMENTS.
- ROCKWALL COUNTY AND PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCURING PERMISSION FROM ANYONE.
- ALL MODIFICATIONS TO THIS DOCUMENT SHALL BE BY METES OF PLAT AND APPROVED BY THE CITY OF ROCKWALL.
- THE UNDERSIGNED COVENANTS AND AGREES THAT HE SHALL CONSTRUCT UPON THE FIRE LANE EASEMENTS, AS DEDICATED AND SHOWN HEREON, A HARD SURFACE PAVED IN ACCORDANCE WITH THE CITY OF ROCKWALL (TOWN) STANDARDS AND THAT HE SHALL MAINTAIN THE SAME IN A STATE OF GOOD REPAIR AT ALL TIMES AND KEEP THE SAME FREE AND CLEAR OF ANY STRUCTURES, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR OBSTRUCTION, INCLUDING BUT NOT LIMITED TO THE PARKING, LOADING OR UNLOADING OF MOTOR VEHICLES, TRAILERS, BOATS, OR OTHER IMPEDIMENTS TO THE ACCESS OF THE FIRE APPARATUS. THE MAINTENANCE OF PAVEMENT IN ACCORDANCE TO THE TOWN STANDARDS OF THE FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE OWNER, AND THE OWNER SHALL POST AND MAINTAIN SIGNAGE IN ACCORDANCE TO TOWN STANDARDS IN CONSPICUOUS PLACES ALONG THE FIRE LANES STATING "FIRE LANE, NO PARKING". THE POLICE OR THEIR DULY AUTHORIZED REPRESENTATIVE IS HEREBY AUTHORIZED TO CAUSE SUCH FIRE LANES AND UTILITY EASEMENTS TO BE MAINTAINED FREE AND UNOBSTRUCTED AT ALL TIMES FOR FIRE DEPARTMENT AND EMERGENCY USE.
- THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE TOWN WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION, AND OBSTRUCTION TO THE NATURAL FLOW OF STORM WATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT, AS HEREBY ABOVE DEFINED, UNLESS APPROVED BY THE TOWN ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE TOWN TO ERECT OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY DRAINAGE IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE TOWN SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE TOWN SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE TOWN SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM FAILURE OF ANY STRUCTURE OR STRUCTURES, WITHIN THE EASEMENT.

CERTIFICATE OF APPROVAL

APPROVED THIS _____ DAY OF _____, 20____
BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL, TEXAS.

SECRETARY _____ TOWN

ENGINEER _____ TOWN

PLANNING DEPARTMENT

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON AND OFFICER WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

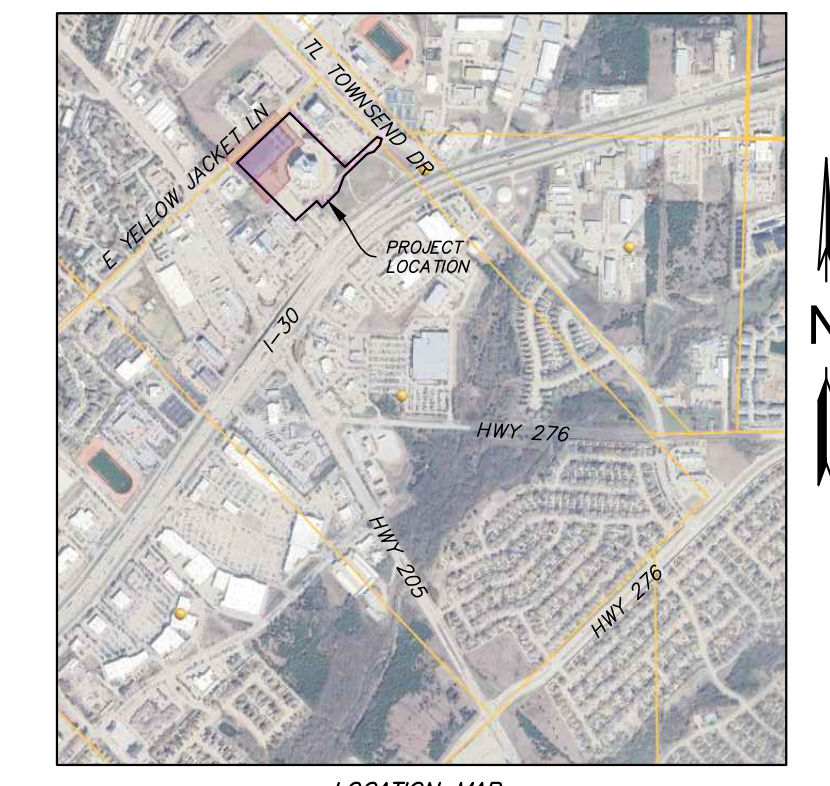
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____

NOTARY PUBLIC, STATE OF TEXAS

OWNER/APPLICANT: ROCKWALL COUNTY
101 E. RUSK STREET
ROCKWALL, TX 75087
P (972) 204-7000
CONTACT: SAMUEL WYATT, RPLS

LAND SURVEYOR: PARKHILL
4222 85TH STREET
LUBBOCK, TX 79423
CONTACT: SAMUEL WYATT, RPLS

CIVIL ENGINEER: PARKHILL
3000 INTERNET BLVD, SUITE 550
FRISCO, TEXAS 75034
CONTACT: CHRIS SCHNITGER, P.E.



LEGEND:
SCALE: 1" = 50'

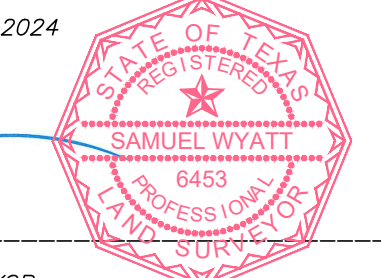
- = SET 1/2" IRON ROD WITH CAP "PSC RPLS 6453"
- = FOUND 1/2" OR 3/8" IRON ROD (SEE PLAT FOR DETAIL)
- BLL = BUILDING SETBACK LINE

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE TOWN OF ROCKWALL, TEXAS.

WITNESS MY HAND THIS THE _____ DAY OF _____, 20____
FOR: ROCKWALL COUNTY
BY (PRINT NAME): _____

KNOW ALL MEN BY THESE PRESENTS:
THAT I, SAMUEL WYATT DO HEREBY CERTIFY THAT THIS PLAT AND THE LEGAL DESCRIPTIONS MADE A PART THEREOF WERE PREPARED FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND MADE UNDER MY PERSONAL SUPERVISION AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE TOWN OF PROSPER, TEXAS.
DATED THIS THE 14TH DAY OF AUGUST, 2024

SAMUEL WYATT
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6453



REPLAT
**ROCKWALL COUNTY
COURTHOUSE ANNEX ADDITION**

A REPLAT OF
12.789 ACRES BEING LOT 1, BLOCK A, FINAL PLAT OF
ROCKWALL COUNTY COURTHOUSE ADDITION

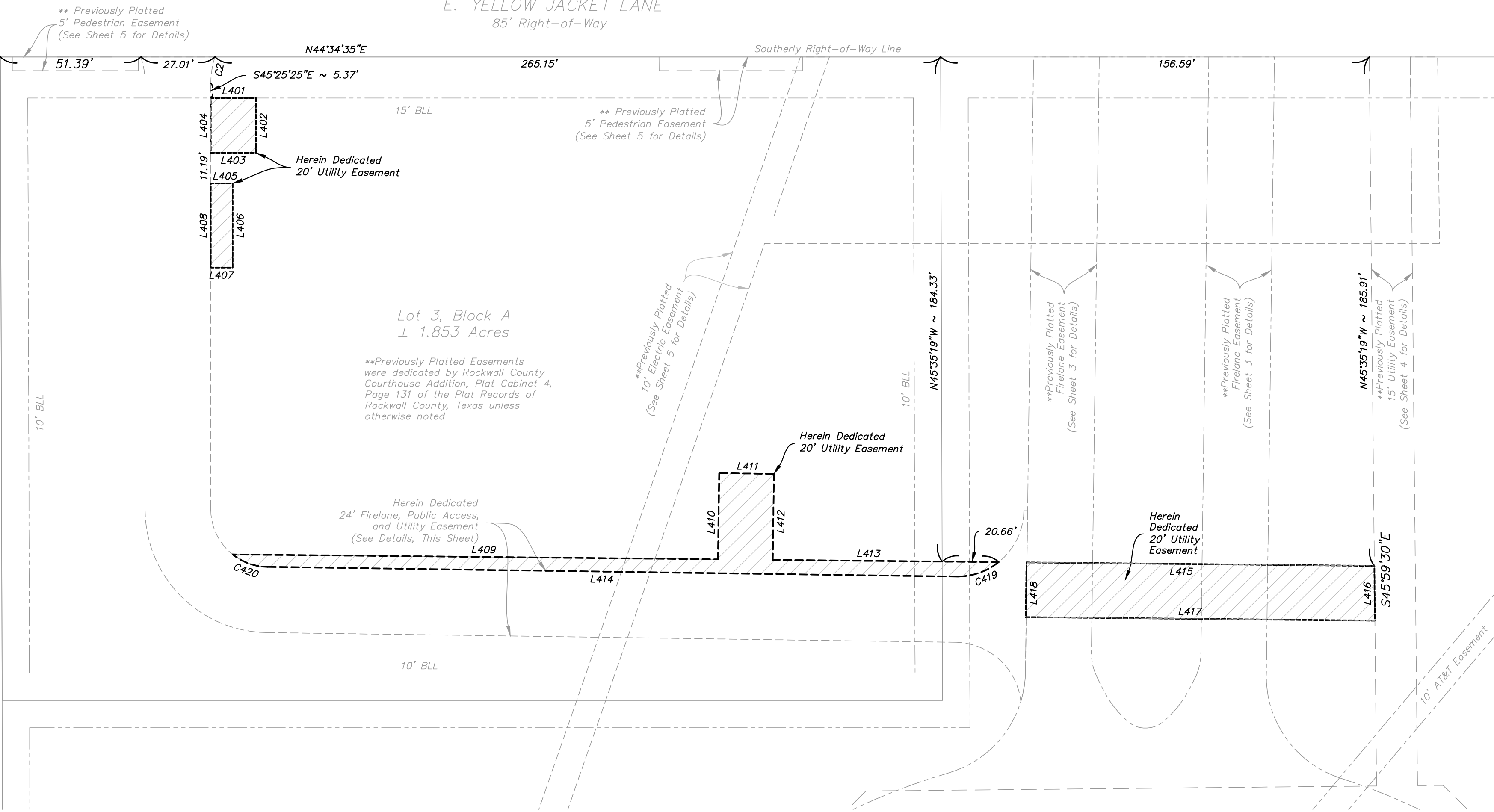
OUT OF JOSEPH CADLE SURVEY, ABSTRACT NO. 65
AND THE FRANCIS R. HENDERSON SURVEY, ABSTRACT NO. 119
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

FP-1
SHEET 1 OF 5

TBPELS FIRM REGISTRATION NO. 10194091

- SURVEYOR'S NOTES:
- BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE TEXAS COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD83. DISTANCES REPORTED HEREON ARE AT SURFACE. AREAS REPORTED HEREON ARE BASED ON CALCULATIONS MADE AT SURFACE DISTANCES.
 - THIS SURVEY IS SUBJECT TO ANY FACTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH. RECORD DOCUMENTS OTHER THAN THOSE SHOWN MAY AFFECT THIS TRACT.
 - MONUMENTS INDICATED AS FOUND BY THIS SURVEY ARE NOT "PHYSICAL MONUMENTS OF RECORD DIGNITY" UNLESS SO NOTED. FOUND MONUMENTS ARE ACCEPTED BY THIS SURVEYOR AS CONTROLLING EVIDENCE DUE TO SUBSTANTIAL AGREEMENT WITH RECORD DOCUMENTS.

E. YELLOW JACKET LANE
85' Right-of-Way



20' UTILITY EASEMENT LINE TABLE

Line #	Direction	Length
L401	S44°34'35\"W	16.50'
L402	N45°25'25\"W	20.00'
L403	N44°34'35\"E	16.50'
L404	S45°25'25\"E	20.00'
L405	N44°34'35\"E	8.00'
L406	S45°25'25\"E	30.76'
L407	S44°34'36\"W	8.00'
L408	N45°25'25\"W	30.76'
L415	S45°08'59\"W	126.94'
L416	N45°59'30\"W	20.01'
L417	N45°08'59\"E	127.40'
L418	S44°39'57\"E	20.00'
L409	N45°08'59\"E	177.34'
L410	N44°36'55\"W	31.48'
L411	N45°23'05\"E	20.00'
L412	S44°36'55\"E	31.40'
L413	N45°08'59\"E	82.56'
L414	S45°23'05\"W	252.29'

20' UTILITY EASEMENT CURVE TABLE

CURVE#	LENGTH	RADIUS	DELTA	CHB	CHL
C419	16.08'	24.37'	037°48'35\"	N25°00'37\"E	15.79'
C420	13.76'	21.00'	037°32'54\"	N64°09'32\"E	13.52'

Lot 3, Block A
± 1.853 Acres

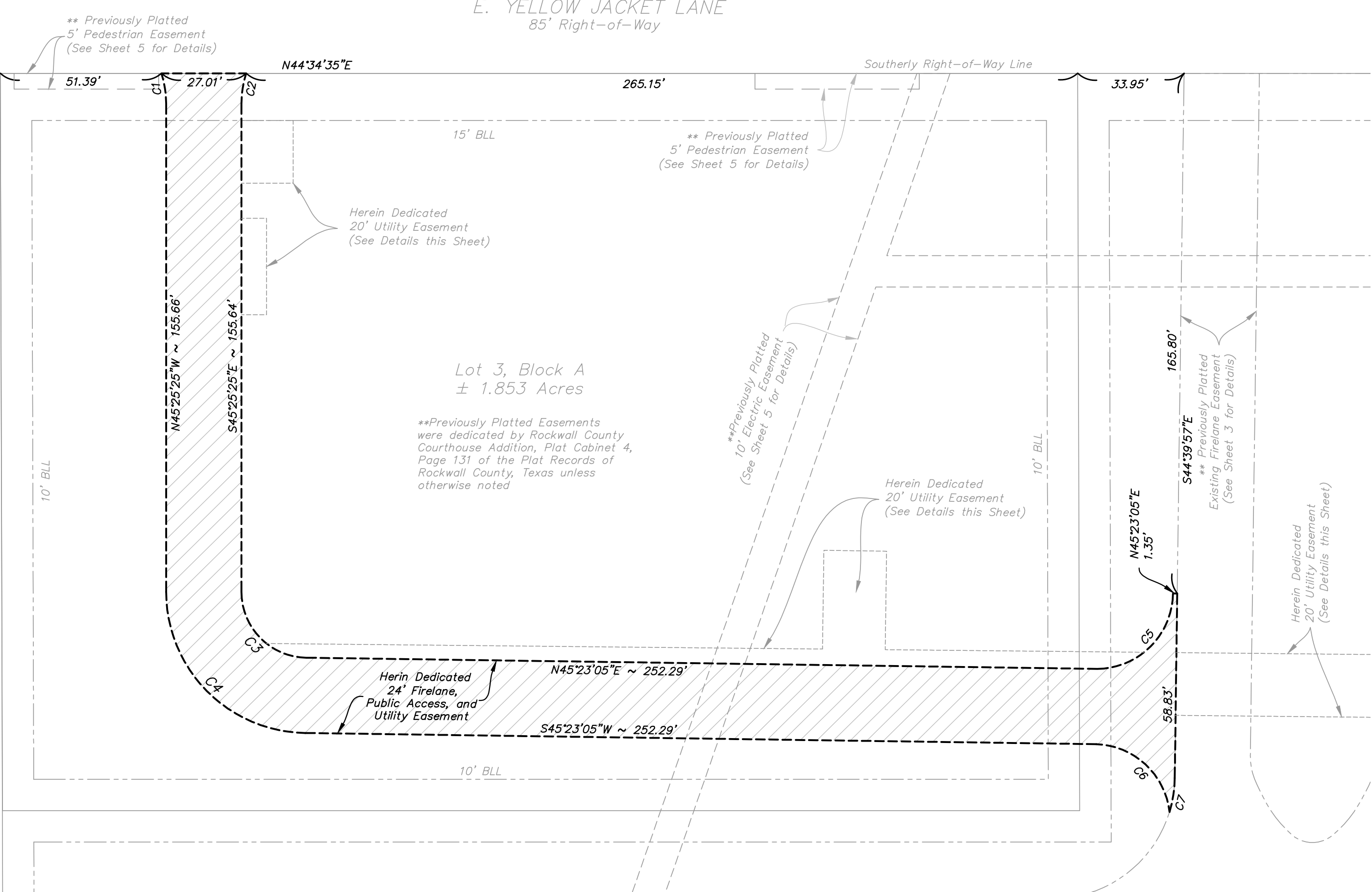
**Previously Platted Easements were dedicated by Rockwall County Courthouse Addition, Plat Cabinet 4, Page 131 of the Plat Records of Rockwall County, Texas unless otherwise noted

Herein Dedicated 24' Firelane, Public Access, and Utility Easement (See Details, This Sheet)

Herein Dedicated 20' Utility Easement

Herein Dedicated 20' Utility Easement

E. YELLOW JACKET LANE
85' Right-of-Way



FIRE LANE EASEMENT CURVE TABLE

CURVE#	LENGTH	RADIUS	DELTA	CHB	CHL
C1	9.76'	31.50'	017°44'28\"	N54°17'39\"W	9.72'
C2	9.78'	31.50'	017°47'41\"	S36°31'34\"E	9.75'
C3	32.70'	21.00'	089°11'30\"	N89°58'50\"E	29.49'
C4	70.06'	45.01'	089°11'30\"	N89°58'50\"E	63.20'
C5	37.68'	24.37'	088°35'37\"	N00°22'54\"W	34.04'
C6	34.63'	24.36'	081°26'45\"	S87°22'19\"W	31.78'
C7	10.97'	39.00'	016°07'20\"	N36°36'17\"W	10.94'

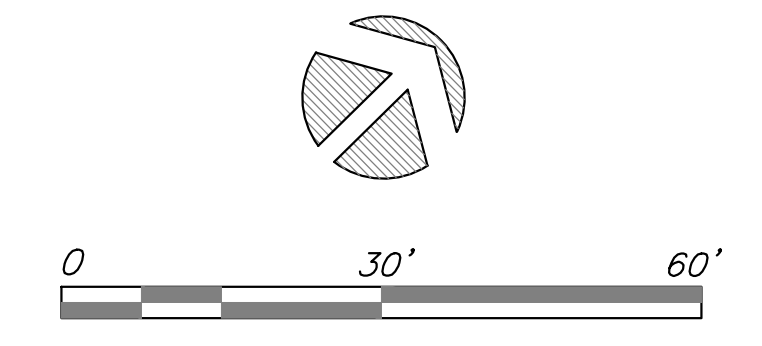
Lot 3, Block A
± 1.853 Acres

**Previously Platted Easements were dedicated by Rockwall County Courthouse Addition, Plat Cabinet 4, Page 131 of the Plat Records of Rockwall County, Texas unless otherwise noted

Herein Dedicated 24' Firelane, Public Access, and Utility Easement (See Details, This Sheet)

Herein Dedicated 20' Utility Easement (See Details this Sheet)

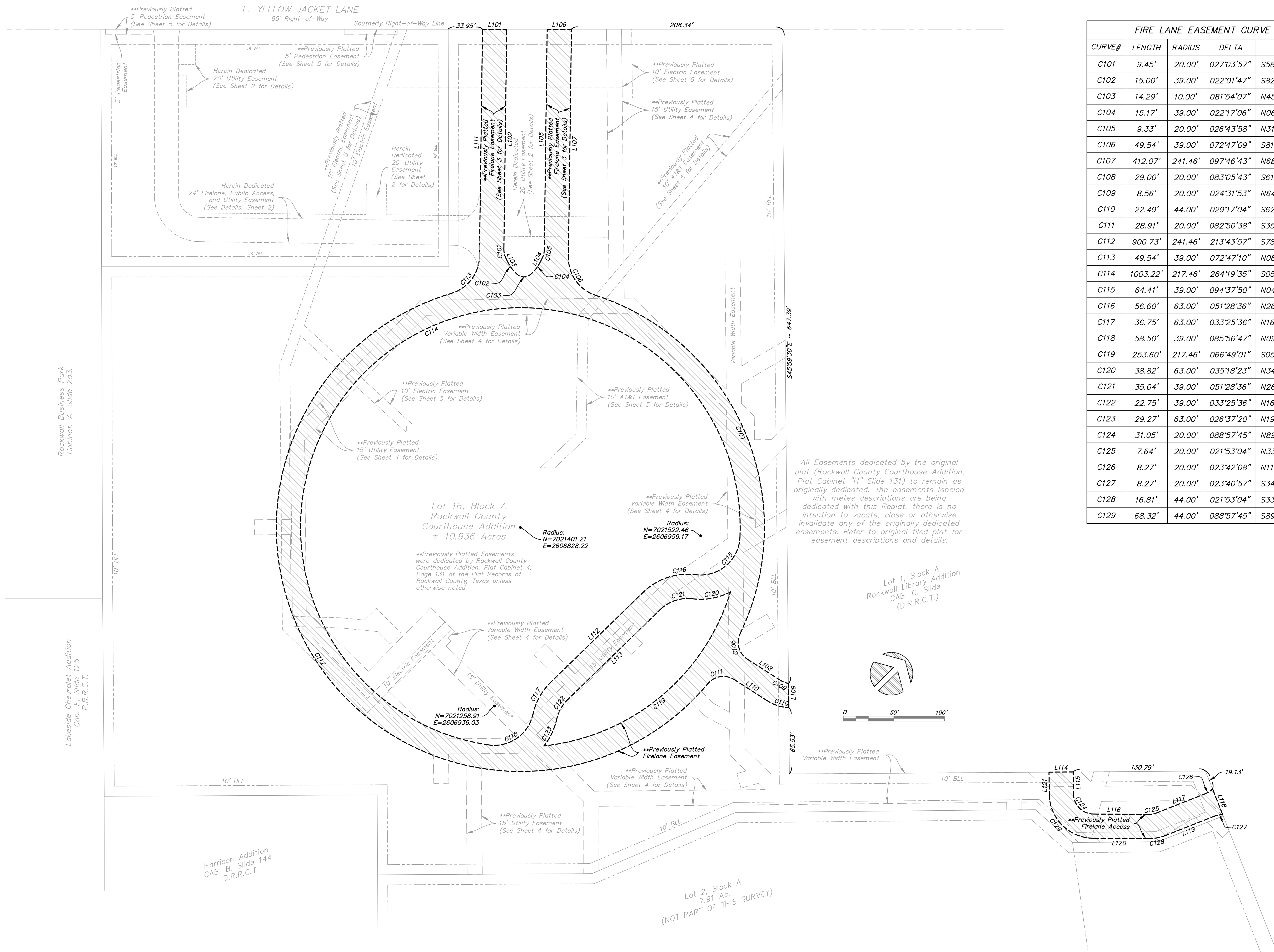
Herein Dedicated 20' Utility Easement (See Details this Sheet)



REPLAT
**ROCKWALL COUNTY
COURTHOUSE ANNEX ADDITION**

FIRELANE & 20' UTILITY EASEMENT DETAILS

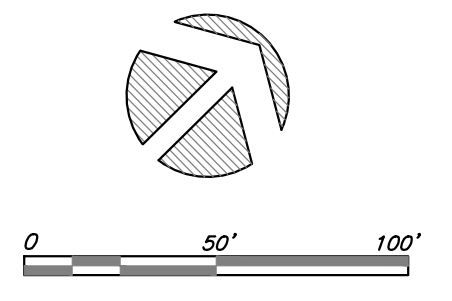
	FP-2 SHEET 2 OF 2
	TPPELS FIRM REGISTRATION NO. 10194091



FIRE LANE EASEMENT CURVE TABLE					
CURVE#	LENGTH	RADIUS	DELTA	CHB	CHL
C101	9.45'	20.00'	027°03'57"	S58°11'55"E	9.36'
C102	15.00'	39.00'	022°01'47"	S82°44'47"E	14.90'
C103	14.29'	10.00'	081°54'07"	N45°16'04"E	13.11'
C104	15.17'	39.00'	022°17'06"	N06°47'26"W	15.07'
C105	9.33'	20.00'	026°43'58"	N31°17'58"W	9.25'
C106	49.54'	39.00'	072°47'09"	S81°03'32"E	46.28'
C107	412.07'	241.46'	097°46'43"	N68°33'45"W	363.85'
C108	29.00'	20.00'	083°05'43"	S61°13'15"E	26.53'
C109	8.56'	20.00'	024°31'53"	N64°57'58"E	8.50'
C110	22.49'	44.00'	029°17'04"	S62°35'22"W	22.25'
C111	28.91'	20.00'	082°50'38"	S35°48'35"W	26.46'
C112	900.73'	241.46'	213°43'57"	S78°44'46"E	462.15'
C113	49.54'	39.00'	072°47'10"	N08°16'22"W	46.28'
C114	1003.22'	217.46'	264°19'35"	S05°01'06"W	322.38'
C115	64.41'	39.00'	094°37'50"	N04°29'48"E	57.34'
C116	56.60'	63.00'	051°28'36"	N26°04'25"E	54.72'
C117	36.75'	63.00'	033°25'36"	N16°22'41"W	36.24'
C118	58.50'	39.00'	085°56'47"	N09°52'55"E	53.17'
C119	253.60'	217.46'	066°49'01"	S05°01'06"W	239.47'
C120	38.82'	63.00'	035°18'23"	N34°09'32"E	38.21'
C121	35.04'	39.00'	051°28'36"	N26°04'25"E	33.87'
C122	22.75'	39.00'	033°25'36"	N16°22'41"W	22.43'
C123	29.27'	63.00'	026°37'20"	N19°46'49"W	29.01'
C124	31.05'	20.00'	088°57'45"	N89°24'41"E	28.03'
C125	7.64'	20.00'	021°53'04"	N33°59'16"E	7.59'
C126	8.27'	20.00'	023°42'08"	N11°11'39"E	8.21'
C127	8.27'	20.00'	023°40'57"	S34°53'12"W	8.21'
C128	16.81'	44.00'	021°53'04"	S33°59'16"W	16.70'
C129	68.32'	44.00'	088°57'45"	S89°24'41"W	61.66'

FIRE LANE EASEMENT LINE TABLE		
Line #	Direction	Length
L101	N44°34'35"E	24.00'
L102	S44°39'57"E	217.51'
L103	S71°43'54"E	4.68'
L104	N17°55'59"W	4.42'
L105	N44°39'57"W	218.18'
L106	N44°34'35"E	24.00'
L107	S44°39'57"E	225.79'
L108	N77°13'54"E	38.73'
L109	S45°59'30"E	24.12'
L110	S77°13'54"W	38.87'
L111	N44°39'57"W	224.63'
L112	N00°20'07"E	127.69'
L113	N00°20'07"E	127.69'
L114	N44°10'13"E	24.00'
L115	S46°06'27"E	21.88'
L116	N44°55'48"E	54.69'
L117	N23°02'44"E	52.30'
L118	S66°56'47"E	27.37'
L119	S23°02'44"W	52.30'
L120	S44°55'48"W	54.69'
L121	N46°06'27"W	21.99'

All Easements dedicated by the original plat (Rockwall County Courthouse Addition, Plat Cabinet "H" Slide 131) to remain as originally dedicated. The easements labeled with metes descriptions are being dedicated with this Replat, there is no intention to vacate, close or otherwise invalidate any of the originally dedicated easements. Refer to original filed plat for easement descriptions and details.



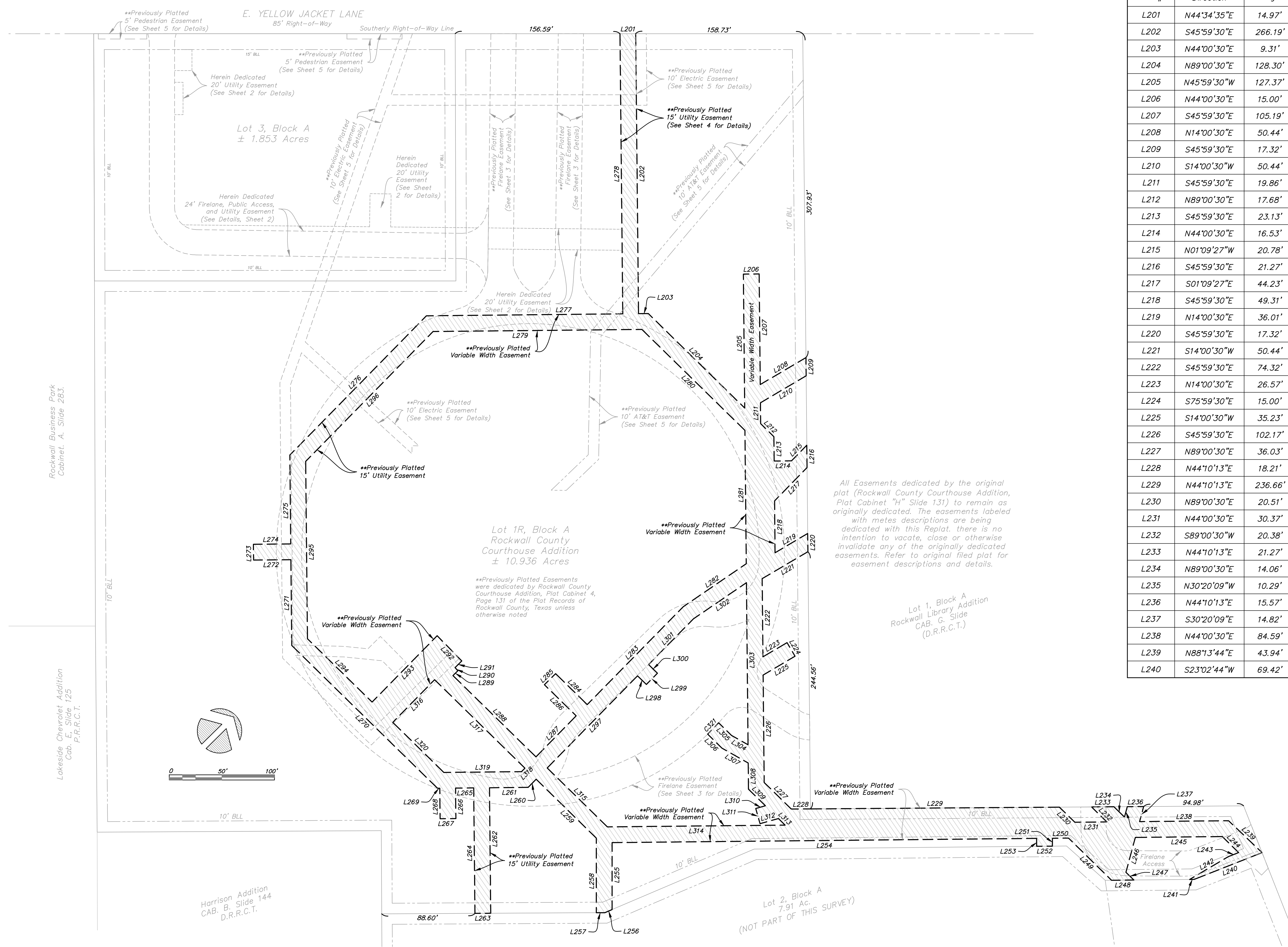
REPLAT
**ROCKWALL COUNTY
COURTHOUSE ANNEX ADDITION**

FIRELANE EASEMENT DETAILS



TBPELS FIRM REGISTRATION NO. 10194091

FP-3
SHEET 3 OF 3



All Easements dedicated by the original plat (Rockwall County Courthouse Addition, Plat Cabinet "H" Side 131) to remain as originally dedicated. The easements labeled with metes descriptions are being dedicated with this Replat, there is no intention to vacate, close or otherwise invalidate any of the originally dedicated easements. Refer to original filed plat for easement descriptions and details.

FIRE LANE EASEMENT LINE TABLE		
Line #	Direction	Length
L201	N44°34'35"E	14.97'
L202	S45°59'30"E	266.19'
L203	N44°00'30"E	9.31'
L204	N89°00'30"E	128.30'
L205	N45°59'30"W	127.37'
L206	N44°00'30"E	15.00'
L207	S45°59'30"E	105.19'
L208	N14°00'30"E	50.44'
L209	S45°59'30"E	17.32'
L210	S14°00'30"W	50.44'
L211	S45°59'30"E	19.86'
L212	N89°00'30"E	17.68'
L213	S45°59'30"E	23.13'
L214	N44°00'30"E	16.53'
L215	N01°09'27"W	20.78'
L216	S45°59'30"E	21.27'
L217	S01°09'27"E	44.23'
L218	S45°59'30"E	49.31'
L219	N14°00'30"E	36.01'
L220	S45°59'30"E	17.32'
L221	S14°00'30"W	50.44'
L222	S45°59'30"E	74.32'
L223	N14°00'30"E	26.57'
L224	S75°59'30"E	15.00'
L225	S14°00'30"W	35.23'
L226	S45°59'30"E	102.17'
L227	N89°00'30"E	36.03'
L228	N44°10'13"E	18.21'
L229	N44°10'13"E	236.66'
L230	N89°00'30"E	20.51'
L231	N44°00'30"E	30.37'
L232	S89°00'30"W	20.38'
L233	N44°10'13"E	21.27'
L234	N89°00'30"E	14.06'
L235	N30°20'09"W	10.29'
L236	N44°10'13"E	15.57'
L237	S30°20'09"E	14.82'
L238	N44°00'30"E	84.59'
L239	N88°13'44"E	43.94'
L240	S23°02'44"W	69.42'


UTILITY EASEMENT LINE TABLE		
Line #	Direction	Length
L241	S44°00'22"W	4.27'
L242	N14°00'30"E	42.80'
L243	N23°02'44"E	10.39'
L244	S89°00'30"W	21.73'
L245	S44°00'30"W	82.58'
L246	S30°20'09"E	34.32'
L247	N89°00'30"E	10.52'
L248	S44°00'22"W	21.21'
L249	S89°00'30"W	57.25'
L250	S44°00'30"W	15.34'
L251	S45°59'30"E	7.50'
L252	S44°00'30"W	15.00'
L253	N45°59'30"E	7.50'
L254	S44°00'30"W	403.45'
L255	S45°25'25"E	63.67'
L256	S21°30'31"W	7.50'
L257	S44°16'35"W	8.10'
L258	N45°25'25"W	70.92'
L259	S89°00'30"W	80.00'
L260	S00°59'30"E	10.86'
L261	S44°00'30"W	36.79'
L262	S45°59'30"E	119.34'
L263	S44°16'35"W	15.00'
L264	N45°59'30"W	119.27'
L265	S44°00'30"W	17.22'
L266	S45°59'30"E	29.00'
L267	S44°00'30"W	15.00'
L268	N45°59'30"W	29.00'
L269	S44°00'30"W	2.20'
L270	S89°00'30"W	193.95'
L271	N45°59'30"W	81.55'
L272	S44°00'30"W	35.47'
L273	N45°59'30"E	15.00'
L274	N44°00'30"E	35.47'
L275	N45°59'30"W	84.53'
L276	N00°59'30"W	185.36'
L277	N44°00'30"E	186.62'
L278	N45°59'30"W	266.33'
L279	N44°00'30"E	198.50'
L280	N89°00'30"E	137.08'

FIRE LANE EASEMENT LINE TABLE		
Line #	Direction	Length
L281	S45°59'30"E	126.80'
L282	S10°15'30"W	72.55'
L283	S00°59'30"E	130.29'
L284	S89°00'30"W	42.00'
L285	S00°20'05"W	15.00'
L286	N89°00'30"E	42.34'
L287	S00°59'30"E	54.62'
L288	S89°00'30"W	110.44'
L289	N00°00'00"E	6.67'
L290	N89°39'55"W	4.01'
L291	N00°11'18"E	9.04'
L292	N89°40'07"W	33.53'
L293	S00°59'30"E	88.39'
L294	S89°00'30"W	86.03'
L295	N45°59'30"W	168.64'
L296	N00°59'30"W	172.93'
L297	N00°59'30"W	122.67'
L298	N89°00'30"E	11.74'
L299	N00°59'30"W	15.00'
L300	S89°00'30"W	11.74'
L301	N00°59'30"W	60.76'
L302	N10°15'30"E	61.04'
L303	S45°59'30"E	154.09'
L304	S74°00'30"W	18.02'
L305	S89°07'18"W	17.21'
L306	N89°07'18"E	19.04'
L307	N74°00'30"W	28.67'
L308	S45°59'30"E	24.94'
L309	N89°00'30"E	22.51'
L310	S29°00'30"W	9.51'
L311	S60°59'30"E	15.00'
L312	N29°00'30"E	18.17'
L313	N89°00'30"E	8.93'
L314	S44°00'30"W	168.96'
L315	S89°00'30"W	80.03'
L316	N00°59'30"W	56.80'
L317	N89°00'30"E	120.16'
L318	S00°59'30"E	4.64'
L319	S44°00'30"W	73.77'
L320	S89°00'30"W	67.98'

UTILITY EASEMENT CURVE TABLE					
CURVE#	LENGTH	RADIUS	DELTA	CHB	CHL
C321	15.00'	241.42'	003°33'36"	N01°29'43"W	15.00'

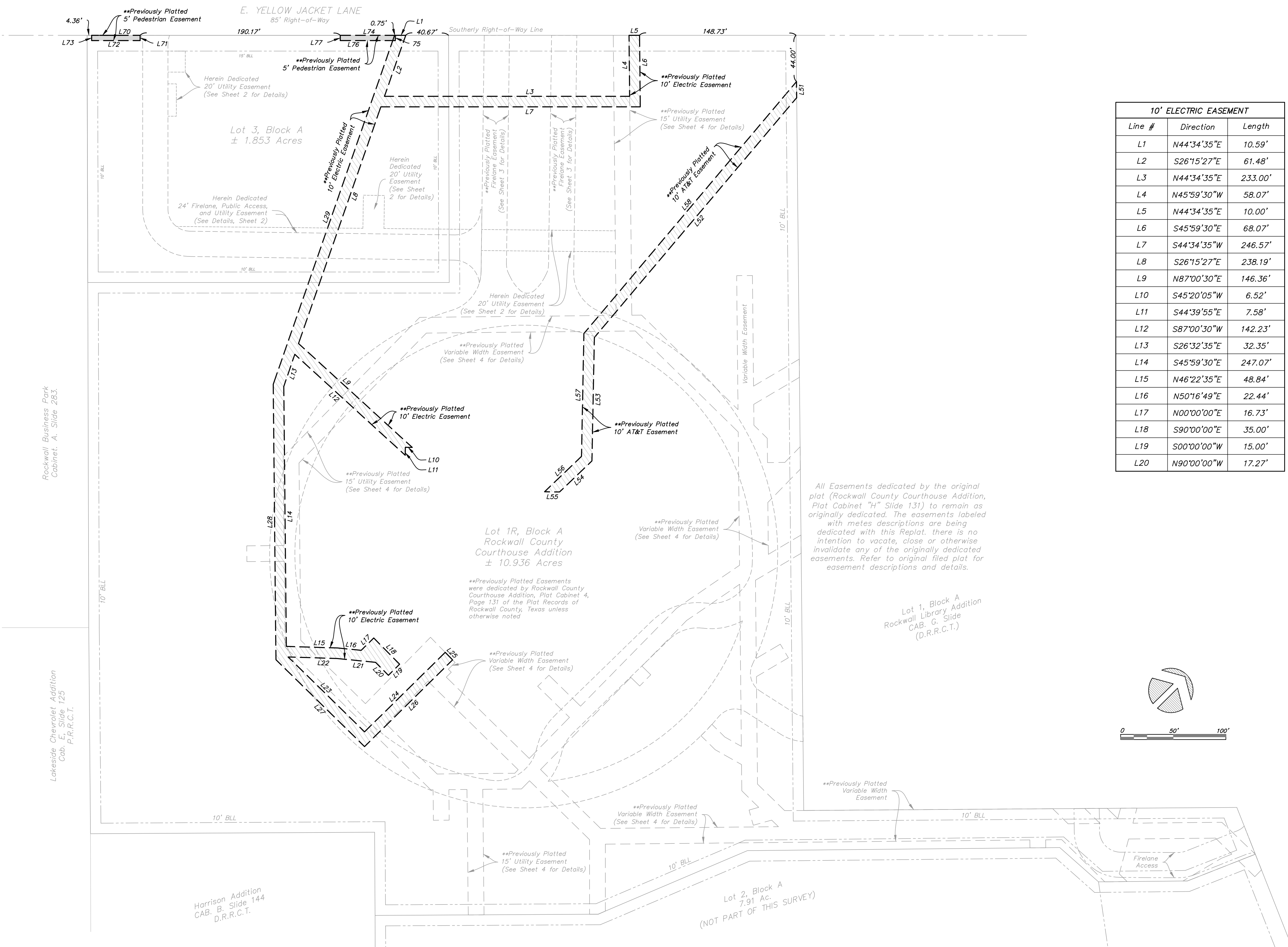
REPLAT
ROCKWALL COUNTY
COURTHOUSE ANNEX ADDITION

UTILITY EASEMENT DETAILS



TBPELS FIRM REGISTRATION NO. 10194091

FP-4
SHEET 4 OF 5



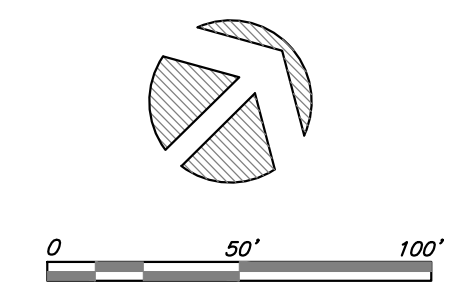
10' ELECTRIC EASEMENT		
Line #	Direction	Length
L1	N44°34'35"E	10.59'
L2	S26°15'27"E	61.48'
L3	N44°34'35"E	233.00'
L4	N45°59'30"W	58.07'
L5	N44°34'35"E	10.00'
L6	S45°59'30"E	68.07'
L7	S44°34'35"W	246.57'
L8	S26°15'27"E	238.19'
L9	N87°00'30"E	146.36'
L10	S45°20'05"W	6.52'
L11	S44°39'55"E	7.58'
L12	S87°00'30"W	142.23'
L13	S26°32'35"E	32.35'
L14	S45°59'30"E	247.07'
L15	N46°22'35"E	48.84'
L16	N50°16'49"E	22.44'
L17	N00°00'00"E	16.73'
L18	S90°00'00"E	35.00'
L19	S00°00'00"W	15.00'
L20	N90°00'00"W	17.27'

10' ELECTRIC EASEMENT		
Line #	Direction	Length
L21	S50°16'49"W	36.85'
L22	S46°22'35"W	46.45'
L23	N89°00'30"E	101.67'
L24	N00°00'00"E	107.62'
L25	S89°40'07"E	10.00'
L26	S00°00'00"W	117.39'
L27	S89°00'30"W	117.95'
L28	N45°59'30"W	261.87'
L29	N26°15'27"W	351.30'

5' PEDESTRIAN EASEMENT LINE TABLE		
Line #	Direction	Length
L70	N44°34'34"E	46.11'
L71	N45°25'25"W	5.00'
L72	N44°34'35"E	46.10'
L73	S45°32'59"E	5.00'
L74	N44°34'35"E	52.37'
L75	S45°25'25"E	5.00'
L76	S44°34'35"W	52.36'
L77	N45°32'59"W	5.00'

10' AT&T EASEMENT		
Line #	Direction	Length
L51	S45°59'30"E	15.33'
L52	S05°16'45"E	298.24'
L53	S44°18'34"E	117.39'
L54	S00°46'42"W	42.64'
L55	S45°20'05"W	14.25'
L56	N00°46'42"E	48.64'
L57	N44°18'34"W	116.78'
L58	N05°16'45"W	313.41'

All Easements dedicated by the original plat (Rockwall County Courthouse Addition, Plat Cabinet "H" Slide 131) to remain as originally dedicated. The easements labeled with metes descriptions are being dedicated with this Replat, there is no intention to vacate, close or otherwise invalidate any of the originally dedicated easements. Refer to original filed plat for easement descriptions and details.



REPLAT
**ROCKWALL COUNTY
 COURTHOUSE ANNEX ADDITION**

ELECTRIC, AT&T, AND PEDESTRIAN EASEMENTS DETAILS

<p>TBPELS FIRM REGISTRATION NO. 10194091</p>	FP-5 SHEET 5 OF 5
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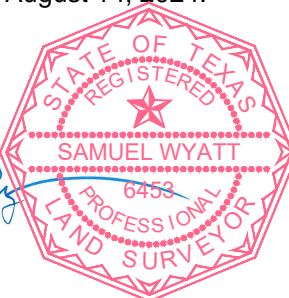
**CLOSURE REPORT
LOT 1, BLOCK A,
ROCKWALL COUNTY COURTHOUSE ADDITION,
IN THE JOSEPH CADLE SURVEY, ABST. NO. 65 AND
THE FRANCIS R. HENDERSON SURVEY, ABST. NO. 119,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

Closure Report

Bearing	Distance	Northing	Easting
		10000.00	10000.00
N44°34'35"E	673.84		
S45°59'30"E	737.05	10479.99	10472.94
		9967.91	11003.06
N44°10'13"E	411.66		
S66°56'47"E	47.81	10263.18	11289.90
		10244.46	11333.89
S23°02'44"W	69.42		
S44°00'22"W	84.46	10180.58	11306.71
		10119.83	11248.04
S86°08'54"W	49.16		
S44°00'30"W	296.90	10116.53	11198.99
		9902.99	10992.71
S21°30'31"W	154.26		
		9759.47	10936.15
S44°16'35"W	212.02		
		9607.67	10788.14
N45°43'25"W	79.06		
		9662.86	10731.53
S44°16'35"W	270.00		
		9469.55	10543.04
N45°54'42"W	195.92		
		9605.86	10402.32
N45°35'19"W	563.21		
		10000.00	10000.00

Closure Error Distance > 0.0016 Error Bearing > S59°16'34"W
Closure Precision > 1 in 2365743.9 Total Distance Inversed > 3844.77

This closure report does not constitute a survey made upon the ground, nor does it constitute a legal description. For a signed and sealed survey, please refer to the plat prepared on August 14, 2024. This report was reviewed by Samuel Wyatt, RPLS 6453 on August 14, 2024.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 27, 2024
APPLICANT: Justin Toon, *Reserve Capital*
CASE NUMBER: P2024-029; *Final Plat for Lot 1, Block A, Revelation Addition*

SUMMARY

Consider a request by Justin Toon of Reserve Capital – Rockwall Industrial SPE for the approval of a Final Plat for Lot 1, Block A, Revelation Addition being a 18.480-acre tract of land identified as Tracts 1, 1-3 & 1-7 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 1725 SH-276, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting approval of a Final Plat for an 18.480-acre tract of land (*i.e. Tracts 1, 1-3, & 1-7 of the J.M. Allen Survey, Abstract No. 2*) for the purpose of establishing the required easements for the development of a *Warehouse/Distribution Center*.
- Background. The subject property was annexed by the City Council on December 3, 1985 by *Ordinance No. 85-69 [Case No. A1985-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the City's historic zoning maps, at some point between December 7, 1993 and April 5, 2005, the subject property was rezoned from Agricultural (AG) District and Light Industrial (LI) District. On November 20, 2000, the City Council approved a preliminary plat [*Case No. PZ2000-097-01*] for the subject property. This preliminary plat showed the alignment of Carrier Drive and that the subject property would be split into two (2) parcels of land. The preliminary plat expired on November 20, 2001, due to inactivity. A right-of-way plat [*Case No. P2010-013*] dedicating Carrier Drive was approved by the City Council on September 20, 2010. This right-of-way was abandoned by the City Council on May 2, 2016 through *Resolution No. 16-11*. A subsequent preliminary plat [*Case No. P2017- 051*] was submitted and approved by the City Council on November 20, 2017. This preliminary plat showed the subject property being subdivided into eight (8) lots to facilitate the development of an office park. This preliminary plat expired due to inactivity on November 20, 2018. On May 2, 2022, the City Council approved a preliminary plat [*Case No. P2022-021*] for the subject property to facilitate the development of a proposed industrial project. On July 26, 2022, the Planning and Zoning Commission approved a site plan for the purpose of establishing a *Warehouse/Distribution Center* on the subject property. On April 9, 2024, the Planning and Zoning Commission approved an amended site plan granting a variance to the berm requirements along SH-276.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this Final Plat -- conforming to the requirements for plats as stipulated by the *Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for *Lot 1, Block A, Revelation Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to the filing of this Final Plat; and,
- (2) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/23/2024

PROJECT NUMBER: P2024-029
PROJECT NAME: Final Plat for Lot 1, Block 1, Revelation
SITE ADDRESS/LOCATIONS: 1775 STATE HIGHWAY 276

CASE CAPTION: Consider a request by Justin Toon of Reserve Capital – Rockwall Industrial SPE for the approval of a Final Plat for Lot 1, Block A, Revelation Addition being a 18.480-acre tract of land identified as Tracts 1, 1-3 & 1-7 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 1725 SH-276, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	08/22/2024	Approved w/ Comments

08/22/2024: P2024-029: Final Plat for Lot 1, Block A, Revelation Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for for Lot 1, Block A, Revelation Addition being a 18.480-acre tract of land identified as Tracts 1, 1-3 & 1-7 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 1725 SH-276.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2024-029) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

FINAL PLAT
LOT 1, BLOCK A,
REVELATION ADDITION
BEING
18.480-ACRES OR 804,988.8 SF
SITUATED IN THE
JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please remove the Planning and Zoning Commission recommendation from the signature block and provide a larger space between the signature line for the City Secretary and City Engineer. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please remove the landscape setbacks from the proposed final plat.

M.7 Please correct the lot and block designation from Lot 1, Block 1 to Lot 1, Block A.

M.8 Please remove all building setbacks from the subdivision plat.

M.8 Please correct the abandonment information concerning Carrier Drive. The right-of-way for this roadway was previously abandoned by Resolution 16-11, and a quitclaim filed by the City of Rockwall (Instrument No. 20220000006659) on March 25, 2022.

M.9 Please amend the standard plat wording from "I (we)" to "I" to reflect the single property owner, and remove the "(s)".

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.11 The projected meeting dates for this case are as follows:

Planning and Zoning Commission: August 27, 2024

City Council: September 3, 2024

I.12 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/22/2024	Approved w/ Comments

- 08/22/2024: 1. List pond 100yr WSEL.
2. Label the widths of all easements.
3. New easement does not need to cross existing utility easements.
4. Easement must extend to property line.
5. Call out.
6. And Drainage.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2024	Approved

08/23/2024: Separate Permits for the structure, fencing and irrigation required

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/19/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/20/2024	Approved

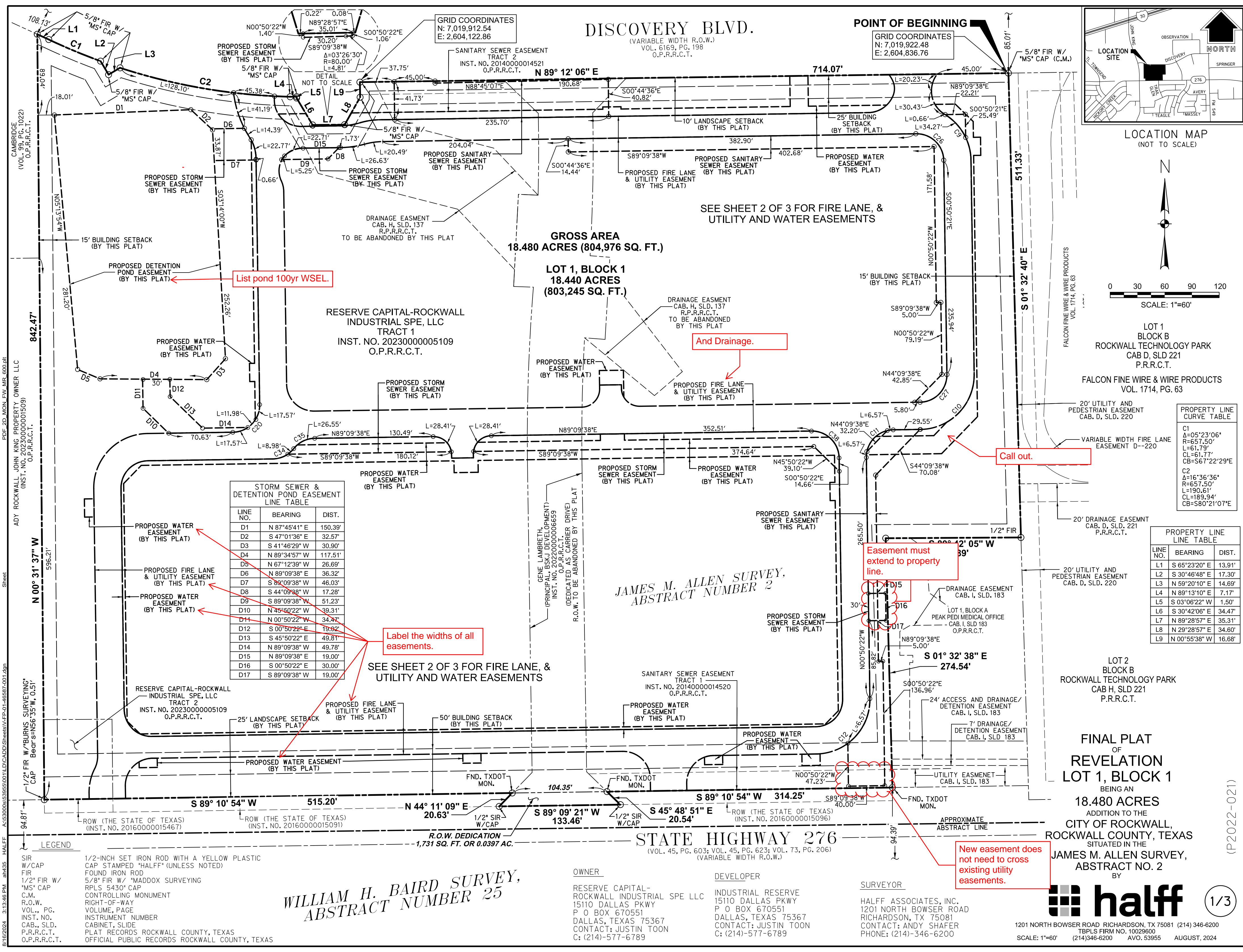
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Bethany Ross	08/23/2024	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/19/2024	Approved

No Comments



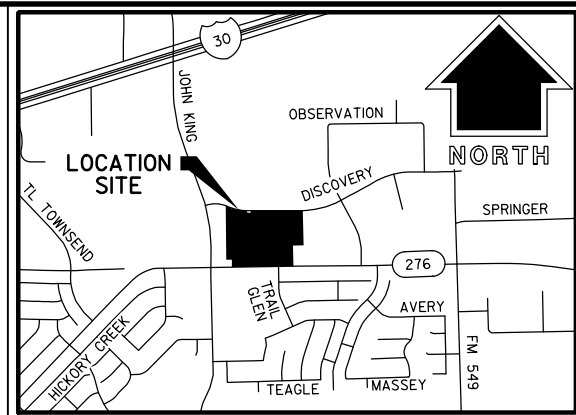
DISCOVERY BLVD.

(VARIABLE WIDTH R.O.W.)
VOL. 6169, PG. 198
O.P.R.R.C.T.

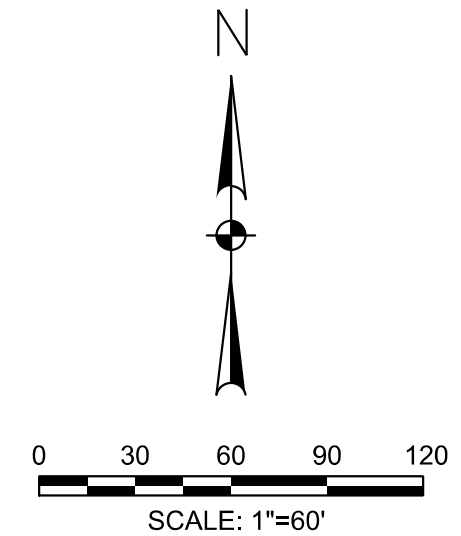
POINT OF BEGINNING

GRID COORDINATES
N: 7,019,922.48
E: 2,604,836.76

GRID COORDINATES
N: 7,019,912.54
E: 2,604,122.86



LOCATION MAP
(NOT TO SCALE)



GROSS AREA
18.480 ACRES (804,976 SQ. FT.)

LOT 1, BLOCK 1
18.440 ACRES
(803,245 SQ. FT.)

RESERVE CAPITAL-ROCKWALL
INDUSTRIAL SPE, LLC
TRACT 1
INST. NO. 20230000005109
O.P.R.R.C.T.

JAMES M. ALLEN SURVEY,
ABSTRACT NUMBER 2

STORM SEWER & DETENTION POND EASEMENT LINE TABLE

LINE NO.	BEARING	DIST.
D1	N 87°45'41" E	150.39'
D2	S 47°01'36" E	32.57'
D3	S 41°46'29" W	30.90'
D4	N 89°34'57" W	117.51'
D5	N 67°12'39" W	26.69'
D6	N 89°09'38" E	36.32'
D7	S 89°09'38" W	46.03'
D8	S 44°09'38" W	17.28'
D9	S 89°09'38" W	51.23'
D10	N 45°50'22" W	39.31'
D11	N 00°50'22" W	34.47'
D12	S 00°50'22" E	19.92'
D13	S 45°50'22" E	49.81'
D14	N 89°09'38" W	49.78'
D15	N 89°09'38" E	19.00'
D16	S 00°50'22" E	30.00'
D17	S 89°09'38" W	19.00'

PROPERTY LINE CURVE TABLE

C1	Δ=05°23'06"	R=657.50'	L=61.77'	CL=61.77'	CB=567'22'29"E
C2	Δ=16°36'36"	R=657.50'	L=190.61'	CL=189.94'	CB=580'21'07"E

PROPERTY LINE TABLE

LINE NO.	BEARING	DIST.
L1	S 65°23'20" E	13.91'
L2	S 30°46'48" E	17.30'
L3	N 59°20'10" E	14.69'
L4	N 89°13'10" E	7.17'
L5	S 03°06'22" W	1.50'
L6	S 30°42'06" E	34.47'
L7	N 89°28'57" E	35.31'
L8	N 29°28'57" E	34.60'
L9	N 00°55'38" W	16.68'

Label the widths of all easements.

Call out.

Easement must extend to property line.

New easement does not need to cross existing utility easements.

WILLIAM H. BAIRD SURVEY,
ABSTRACT NUMBER 25

OWNER
RESERVE CAPITAL-ROCKWALL INDUSTRIAL SPE LLC
15110 DALLAS PKWY
P O BOX 670551
DALLAS, TEXAS 75367
CONTACT: JUSTIN TOON
C: (214)-577-6789

DEVELOPER
INDUSTRIAL RESERVE
15110 DALLAS PKWY
P O BOX 670551
DALLAS, TEXAS 75367
CONTACT: JUSTIN TOON
C: (214)-577-6789

SURVEYOR
HALFF ASSOCIATES, INC.
1201 NORTH BOWSER ROAD
RICHARDSON, TX 75081
CONTACT: ANDY SHAFFER
PHONE: (214)-346-6200



1201 NORTH BOWSER ROAD RICHARDSON, TX 75081 (214) 346-6200
TBPLS FIRM NO. 10029600
SCALE: 1"=60' (214)346-6200 AVO. 539955 AUGUST, 2024

8/18/2024 3:13:46 PM ah435 HALFF AV:53000as539550001LDVCADD\Sheets\FP-01-46587-001.dgn
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 ADY ROCKWALL JOHN KING PROPERTY OWNER LLC (INST. NO. 2023000001509) O.P.R.R.C.T.
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 CAMBRIDGE (VOL. 99, PG. 1022) O.P.R.R.C.T.
 CAMBRIDGE (VOL. 99, PG. 1022) O.P.R.R.C.T.
 CAMBRIDGE (VOL. 99, PG. 1022) O.P.R.R.C.T.

(P2022-021)



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1775 STATE HIGHWAY 276, ROCKWALL, TX 75032

SUBDIVISION REVELATION

LOT 1

BLOCK 1

GENERAL LOCATION LAMBRETH TRACT EAST OF JOHN KING BETWEEN DISCOVERY BLVD. & SH 276

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LIGHT INDUSTRIAL

CURRENT USE LAND / AG

PROPOSED ZONING LIGHT INDUSTRIAL

PROPOSED USE LIGHT INDUSTRIAL

ACREAGE 18.48

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Reserve Capital - Rockwall Industrial PE

APPLICANT

CONTACT PERSON Justin Toon

CONTACT PERSON

ADDRESS 12404 Park Central Dr

ADDRESS

Ste 250-S

CITY, STATE & ZIP Dallas, TX 75251

CITY, STATE & ZIP

PHONE 214-988-1360

PHONE

E-MAIL Justin@reservecappartners.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

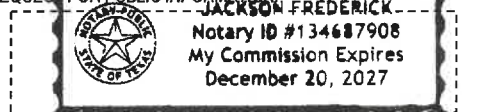
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Clint Riley [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 169.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF August, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

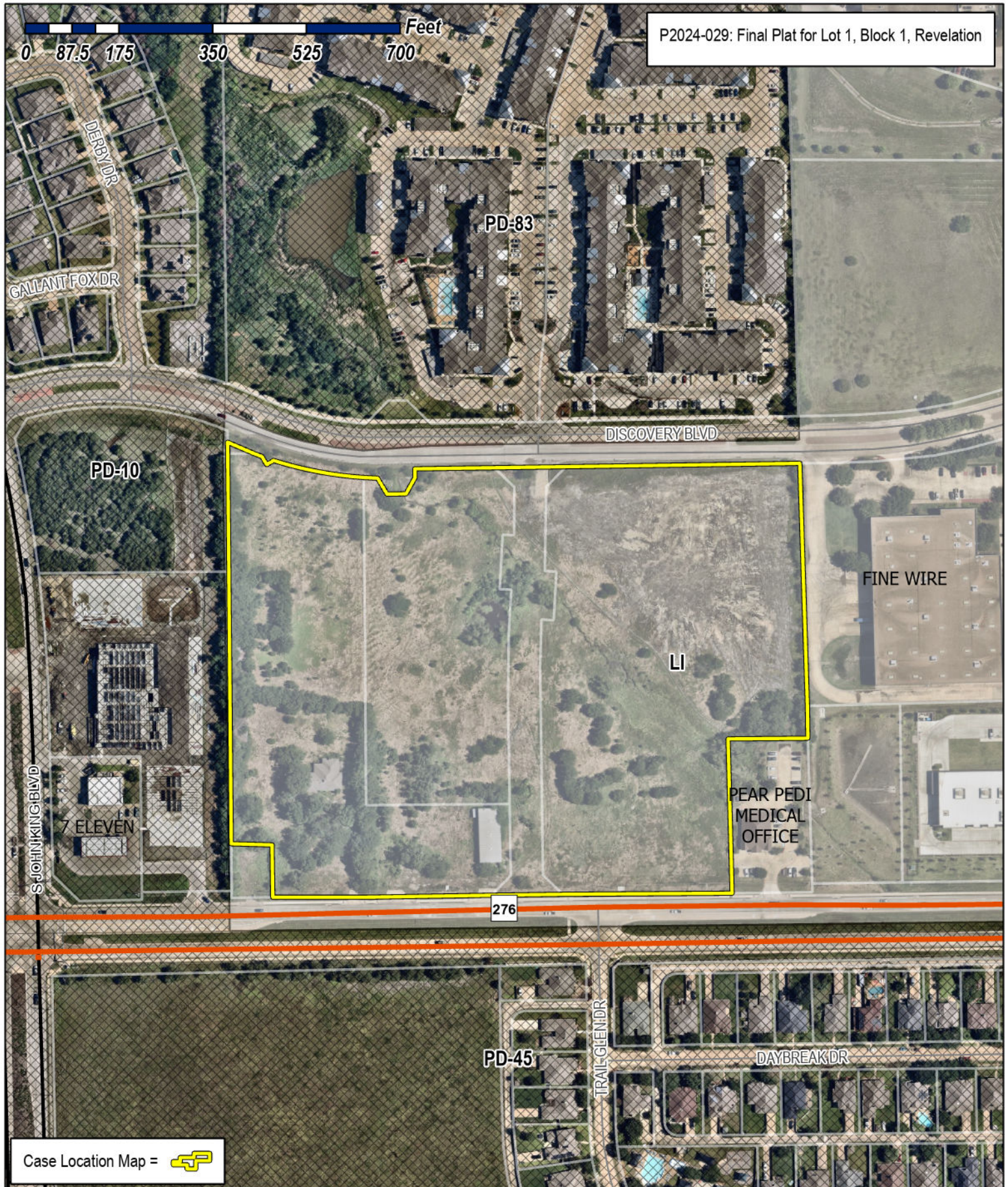
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF August, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 12/20/2027



Case Location Map = 

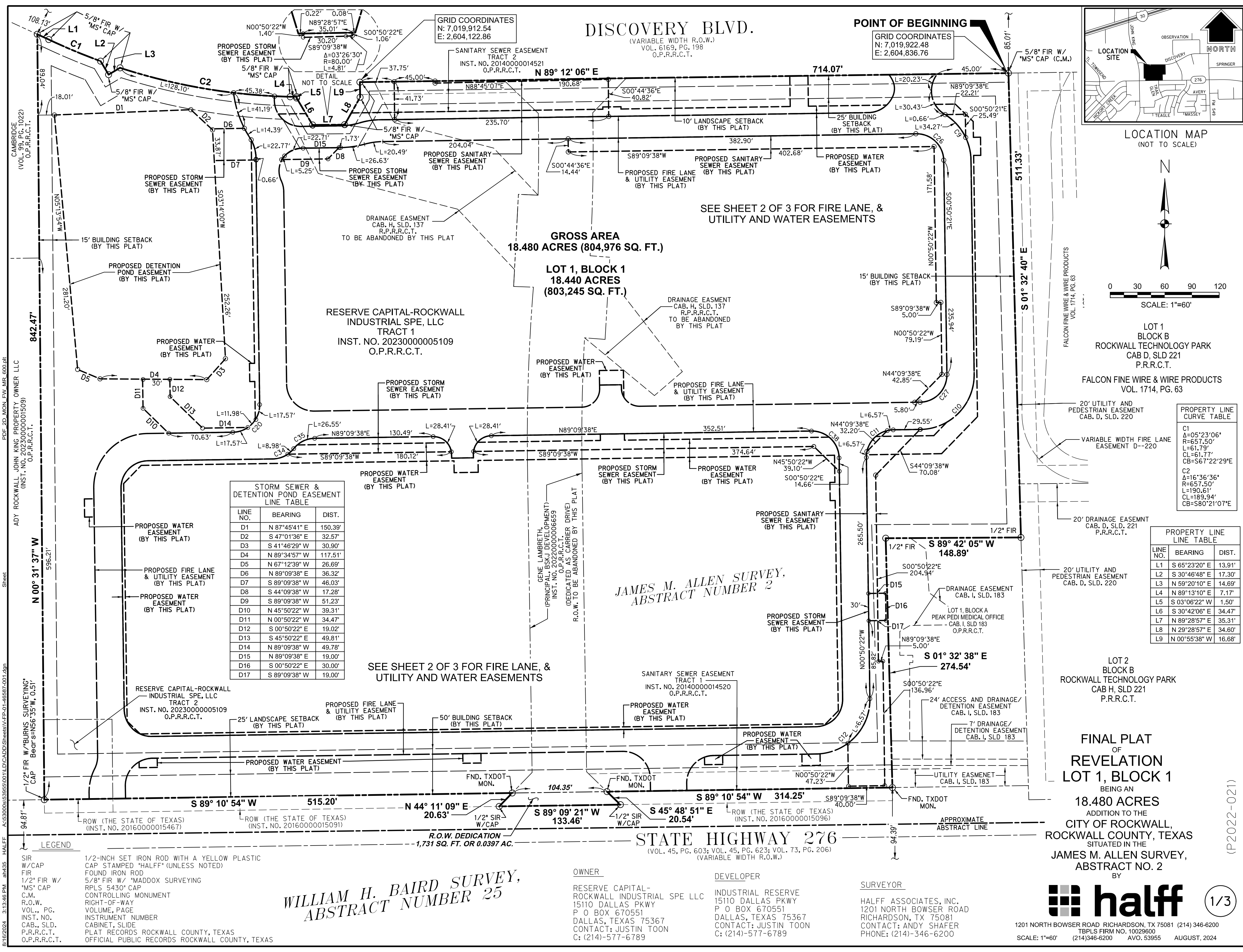


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



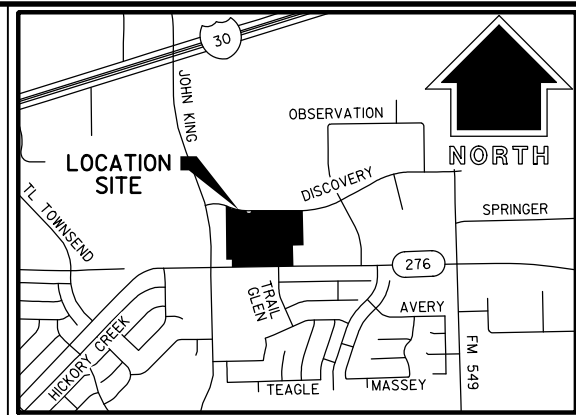


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 Sheet
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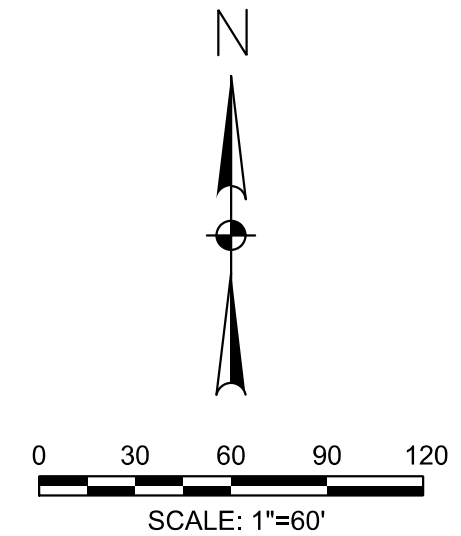
DISCOVERY BLVD.
 (VARIABLE WIDTH R.O.W.)
 VOL. 6169, PG. 198
 O.P.R.R.C.T.

POINT OF BEGINNING
 GRID COORDINATES
 N: 7,019,922.48
 E: 2,604,836.76

GRID COORDINATES
 N: 7,019,912.54
 E: 2,604,122.86



LOCATION MAP
 (NOT TO SCALE)



GROSS AREA
 18.480 ACRES (804,976 SQ. FT.)

LOT 1, BLOCK 1
 18.440 ACRES (803,245 SQ. FT.)

RESERVE CAPITAL-ROCKWALL
 INDUSTRIAL SPE, LLC
 TRACT 1
 INST. NO. 20230000005109
 O.P.R.R.C.T.

JAMES M. ALLEN SURVEY,
 ABSTRACT NUMBER 2

STORM SEWER & DETENTION POND EASEMENT LINE TABLE

LINE NO.	BEARING	DIST.
D1	N 87°45'41" E	150.39'
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D4	N 89°34'57" W	117.51'
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PROPERTY LINE CURVE TABLE

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C2	Δ=16°36'36"	R=657.50'	L=190.61'	CL=189.94'	CB=58°21'07"E

PROPERTY LINE TABLE

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L5	S 03°06'22" W	1.50'
L6	S 30°42'06" E	34.47'
L7	N 89°28'57" E	35.31'
L8	N 29°28'57" E	34.60'
L9	N 00°55'38" W	16.68'

LOT 2
 BLOCK B
 ROCKWALL TECHNOLOGY PARK
 CAB H, SLD 221
 P.R.R.C.T.

FINAL PLAT
 OF
REVELATION
 LOT 1, BLOCK 1
 BEING AN

18.480 ACRES
 ADDITION TO THE
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 SITUATED IN THE
 JAMES M. ALLEN SURVEY,
 ABSTRACT NO. 2
 BY

WILLIAM H. BAIRD SURVEY,
 ABSTRACT NUMBER 25

OWNER
 RESERVE CAPITAL-ROCKWALL INDUSTRIAL SPE LLC
 15110 DALLAS PKWY
 P O BOX 670551
 DALLAS, TEXAS 75367
 CONTACT: JUSTIN TOON
 C: (214)-577-6789

DEVELOPER
 INDUSTRIAL RESERVE
 15110 DALLAS PKWY
 P O BOX 670551
 DALLAS, TEXAS 75367
 CONTACT: JUSTIN TOON
 C: (214)-577-6789

SURVEYOR
 HALFF ASSOCIATES, INC.
 1201 NORTH BOWSER ROAD
 RICHARDSON, TX 75081
 CONTACT: ANDY SHAFFER
 PHONE: (214)-346-6200

halff

1201 NORTH BOWSER ROAD RICHARDSON, TX 75081 (214) 346-6200
 TBPLS FIRM NO. 10029600
 SCALE: 1"=60' (214)346-6200 AVO. 539955 AUGUST, 2024

(P2022-021)

1/3

DISCOVERY BLVD.

(VARIABLE WIDTH R.O.W.)
VOL. 6169, PG. 198
O.P.R.R.C.T.

0 30 60 90 120

SCALE: 1"=60'

LINE NO.	BEARING	DIST.
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L4	N 89°13'10" E	7.17'
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L7	N 89°28'57" E	35.31'
L8	N 29°28'57" E	34.60'
L9	N 00°55'38" W	16.68'

LINE NO.	BEARING	DIST.
C1	Δ=05°23'06"	R=657.50'
C2	Δ=16°36'36"	R=657.50'
C3	Δ=17°48'49"	R=80.00'
C4	Δ=15°48'19"	R=80.00'
C5	Δ=43°02'20"	R=20.00'
C6	Δ=16°58'31"	R=30.00'
C7	Δ=38°38'01"	R=30.00'
C8	Δ=58°07'11"	R=30.00'
C9	Δ=55°46'53"	R=60.00'
C10	Δ=90°00'04"	R=60.00'
C11	Δ=90°00'00"	R=30.00'
C12	Δ=90°00'00"	R=60.00'
C13	Δ=90°00'00"	R=30.00'
C14	Δ=89°48'33"	R=30.00'
C15	Δ=90°00'00"	R=30.00'
C16	Δ=03°09'41"	R=30.00'
C17	Δ=27°54'20"	R=56.00'
C18	Δ=27°54'20"	R=30.00'
C19	Δ=90°00'00"	R=60.00'
C20	Δ=90°00'00"	R=30.00'
C21	Δ=28°59'47"	R=14.61'
C22	Δ=27°35'28"	R=115.41'
C23	Δ=114°25'14"	R=25.00'
C24	Δ=14°40'19"	R=104.00'
C25	Δ=14°40'19"	R=80.00'

LINE NO.	BEARING	DIST.
F1	N 00°50'22" W	4.00'
F2	S 89°09'38" W	24.00'
F3	S 00°50'22" E	4.00'
F4	S 89°09'38" W	24.00'

LINE NO.	BEARING	DIST.
W1	N 00°50'22" W	4.00'
W2	S 89°09'38" W	24.00'
W3	S 00°50'22" E	4.00'
W4	S 89°09'38" W	24.00'
W5	S 00°50'22" E	20.00'
W6	S 89°09'38" W	7.84'
W7	S 00°50'22" E	12.73'
W8	S 89°09'38" W	20.00'
W9	N 00°50'22" W	12.58'
W10	S 00°50'22" E	10.00'
W11	S 89°09'38" W	20.00'
W12	N 00°50'22" W	8.28'
W13	S 00°48'55" E	10.50'
W14	S 89°09'38" W	20.00'
W15	N 00°48'55" W	10.50'
W16	S 00°50'22" E	10.14'
W17	S 89°09'38" W	20.00'
W18	N 00°50'22" W	6.40'
W19	S 89°09'38" W	10.50'
W20	N 00°50'22" W	20.00'
W21	N 89°09'38" E	10.50'
W22	S 89°09'38" W	5.55'
W23	N 00°50'22" W	20.00'
W24	N 89°09'38" E	5.55'
W25	N 89°09'38" E	30.31'
W26	N 00°50'22" W	16.00'
W27	N 89°09'38" W	26.50'
W28	S 00°50'22" E	29.67'
W29	S 89°09'38" W	5.50'
W30	N 00°50'22" W	20.00'
W31	N 89°09'38" E	5.50'
W32	N 00°50'22" W	29.87'
W33	S 00°50'22" E	12.99'
W34	S 89°09'38" W	26.50'
W35	N 00°50'22" W	12.99'
W36	S 00°50'22" E	4.00'
W37	N 00°50'22" W	4.00'
W38	N 00°50'22" W	7.01'
W39	S 00°50'22" E	7.01'

LINE NO.	BEARING	DIST.
C1	Δ=99°46'16"	R=29.00'
C2	Δ=15°48'19"	R=80.00'
C3	Δ=17°48'49"	R=80.00'
C4	Δ=68°28'50"	R=30.00'
C5	Δ=43°02'20"	R=20.00'
C6	Δ=16°58'31"	R=30.00'
C7	Δ=38°38'01"	R=30.00'
C8	Δ=58°07'11"	R=30.00'
C9	Δ=55°46'53"	R=60.00'
C10	Δ=90°00'04"	R=60.00'
C11	Δ=90°00'00"	R=30.00'
C12	Δ=90°00'00"	R=60.00'
C13	Δ=90°00'00"	R=30.00'
C14	Δ=89°48'33"	R=30.00'
C15	Δ=90°00'00"	R=30.00'
C16	Δ=03°09'41"	R=30.00'
C17	Δ=27°54'20"	R=56.00'
C18	Δ=27°54'20"	R=30.00'
C19	Δ=90°00'00"	R=60.00'
C20	Δ=90°00'00"	R=30.00'
C21	Δ=28°59'47"	R=14.61'

LINE NO.	BEARING	DIST.
C22	Δ=27°35'28"	R=115.41'
C23	Δ=114°25'14"	R=25.00'
C24	Δ=14°40'19"	R=104.00'
C25	Δ=14°40'19"	R=80.00'
C26	Δ=85°09'23"	R=30.00'
C27	Δ=90°00'00"	R=30.00'
C28	Δ=90°00'00"	R=20.00'
C29	Δ=90°00'00"	R=20.00'
C30	Δ=44°59'12"	R=31.42'
C31	Δ=47°12'12"	R=31.42'
C32	Δ=31°42'12"	R=31.42'
C33	Δ=31°42'12"	R=31.42'
C34	Δ=50°42'42"	R=26.55'
C35	Δ=50°42'42"	R=26.55'
C36	Δ=90°00'00"	R=20.00'
C37	Δ=90°00'00"	R=20.00'
C38	Δ=90°00'00"	R=30.00'
C39	Δ=90°00'02"	R=30.00'

GROSS AREA
18.480 ACRES (804,976 SQ. FT.)

LOT 1, BLOCK 1
18.440 ACRES (803,245 SQ. FT.)

RESERVE CAPITAL-ROCKWALL INDUSTRIAL SPE, LLC TRACT 1
INST. NO. 20230000005109
O.P.R.R.C.T.

JAMES M. ALLEN SURVEY, ABSTRACT NUMBER 2

FINAL PLAT OF REVELATION LOT 1, BLOCK 1
BEING AN

18.480 ACRES
ADDITION TO THE
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
SITUATED IN THE
JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
BY



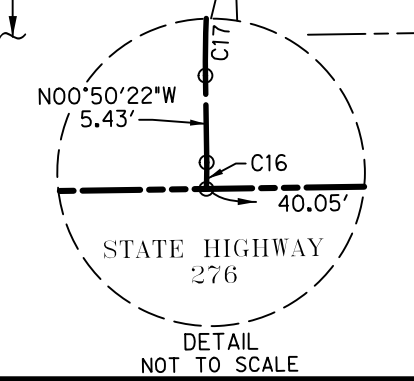
1201 NORTH BOWSER ROAD RICHARDSON, TX 75081 (214) 346-6200
TBPLS FIRM NO. 10029600
SCALE: 1"=60' (214)346-6200 AVO. 53955 AUGUST, 2024

OWNER
RESERVE CAPITAL-ROCKWALL INDUSTRIAL SPE LLC
15110 DALLAS PKWY
P O BOX 670551
DALLAS, TEXAS 75367
CONTACT: JUSTIN TOON
C: (214)-577-6789

DEVELOPER
INDUSTRIAL RESERVE
15110 DALLAS PKWY
P O BOX 670551
DALLAS, TEXAS 75367
CONTACT: JUSTIN TOON
C: (214)-577-6789

SURVEYOR
HALFF ASSOCIATES, INC.
1201 NORTH BOWSER ROAD
RICHARDSON, TX 75081
CONTACT: ANDY SHAFER
PHONE: (214)-346-6200

WILLIAM H. BAIRD SURVEY, ABSTRACT NUMBER 25



8/18/2024 3:13:24 PM ah435 HALF AV:5300as\39565001\LD\CADD\Sheets\FP-02-46887-001.dgn

P(2022-021)



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Angelica Guevara, *Planning Technician*
DATE: August 27, 2024
SUBJECT: SP2024-038; *Site Plan for a Municipally Controlled Utility Substation (NTMWD)*

The applicant, Eric Williams of Teague, Nall, & Perkins on behalf of Elisa Cardona of the North Texas Municipal Water District, is requesting the approval of a *Site Plan for a Municipally Controlled Utility Substation (NTMWD)*. The subject property is a 0.40-acre portion of a larger 44.557-acre tract of land located north of the intersection of John King Boulevard and FM-552, zoned Planned Development District 80 (PD-80) for Single-Family 10 (SF-10) District land uses. In accordance with the *Development Application Schedule* the applicant submitted an application, site plan, landscape plan, and building elevations..

The applicant's site plan indicates a six (6) foot wrought iron perimeter fence, a double swing gate, an access driveway off N. John King Boulevard, two (2) parking spaces, one (1) utility vault, and a 30-foot antenna tower. Based on the landscape plan provided by the applicant, they are providing all the required landscape screening required by Article 05, *District Development Standards*, of the Unified Development Code (UDC). According to the Planned Development District 80 (PD-80) Ordinance (*i.e. Ordinance No. 16-08*) all buildings shall be 90% masonry, being composed of full width brick, natural stone, or cast stone. In this case, the proposed building elevations indicate the utility vault building will be constructed using light grey, split face, concrete masonry units (*i.e. CMU's*). In accordance with PD-80, the applicant is requesting a variance to the building material requirements. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the August 27, 2024 Planning and Zoning Commission meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/23/2024

PROJECT NUMBER: SP2024-038
PROJECT NAME: Site Plan for Mt. Zion Meter Vault
SITE ADDRESS/LOCATIONS: 3275 N JOHN KING BLVD, ROCKWALL, TX 75032

CASE CAPTION: Discuss and consider a request by Eric Williams of Teague, Nall & Perkins on behalf of Elisa Cardona of the North Texas Municipal Water District for the approval of a Site Plan for a Municipally Controlled Utility Substation on a 0.40-acre portion of a larger 44.557-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 10 (SF-10) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located north of the intersection of John King Boulevard and FM-552, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	08/23/2024	Approved w/ Comments

08/23/2024: SP2024-038: Site Plan for a Municipally Controlled Utility Substation
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Municipally Controlled Utility Substation on a 0.40-acre portion of a larger 44.557-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 10 (SF-10) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located north of the intersection of John King Boulevard and FM-552.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (SP2024-038) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 Provide a corrected signature block as shown below with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Specifically, the Photometric Plan and the Treescape Plan are missing this. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.5 Site Plan

(1) The PD ordinance calls for a minimum masonry requirement of 90% on the exterior façades of all building. Masonry allowed shall be full width brick, natural stone, and cast stone only. In this case, the applicant is requesting to construct using CMU's. This will require a variance from the Planning and Zoning Commission. (PD-80; Ordinance No. 16-

08)

- (2) The site plan indicates a 30-foot antenna tower. Please provide elevations for this and for the screening required on any equipment associated with the tower. Please note that ice bridges are not permitted. (Subsection 03.03, Article 04, UDC)
- (3) The proposed swing metal gates and proposed fence shall be wrought iron. Please provide a detail of each. (PD-80; Ordinance No. 16-08)
- (4) Please provide a vicinity map as a reference for the subject property location. (Subsection 03.04 A, of Article 11, UDC)
- (5) Please indicate the dimensions of the parking spacing. The minimum is 9'x20'. (Engineering Standards of Design and Construction)
- (6) The applicant will be required to plat the plat prior to the issuance of a Building Permit.

M.6 Landscape Plan

- (1) The landscape plan indicates Dwarf Southern Magnolias will be used. Please switch these out to the approved canopy/shade trees such as "Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak." (PD-80; Ordinance No. 16-08)
- (2) Please indicate that all canopy trees will be a minimum of four (4) caliper inches in size and shrubs shall be five (5) gallon. (PD-80; Ordinance No. 16-08)

I.7 Please note that failure to address all comments provided by staff will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. It is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 27, 2024 Planning & Zoning Meeting.

I.9 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Meeting will be held on August 27, 2024.

I.10 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires a representative(s) to be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

I.11 If the Planning and Zoning Commission approves this site plan case, the applicant will be responsible for submitting hard copies of the final site plan submittal package -- with all comments addressed -- for signatures from the Planning and Zoning Commission Chairman and Director of Planning and Zoning. Please note that this will be required to be completed prior to the acceptance of civil engineering plans.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/22/2024	Approved w/ Comments

08/22/2024: 1. Is this the detention area?

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees for any public improvements
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls (if needed) 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required for the removal of any existing trees on site.
- No structures or fences with easements.
- All utilities must be underground.

- Additional comments may be provided at the time of Engineering site/civil plan review.

Drainage Items:

- Detention will be required if increasing impervious area.
- Existing flow patterns must be maintained.
- 4:1 maximum side slopes.
- No grate inlets allowed.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems and flow path.

Water and Wastewater Items:

- Commercial sanitary sewer service line (if needed) size is minimum 6" and must connect to an existing or proposed manhole. If sewer is needed, sewer impact fee will need to be paid.
- Any utility connection made underneath of an existing public roadway must be completed by dry bore. Opening cutting will not be allowed. Crossings of John King must be steel encased.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.

Roadway Paving Items:

- Must meet City driveway spacing requirements.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Pavement Specs will be reviewed with Engineering plans.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2024	Approved w/ Comments

08/23/2024: * SEPARATE BUILDING PERMITS REQUIRED FOR THE STRUCTURES, FENCING AND IRRIGATION

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/19/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/20/2024	Approved w/ Comments

08/20/2024: Assigned address will be 3275 N JOHN KING BLVD, ROCKWALL, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/15/2024	Approved

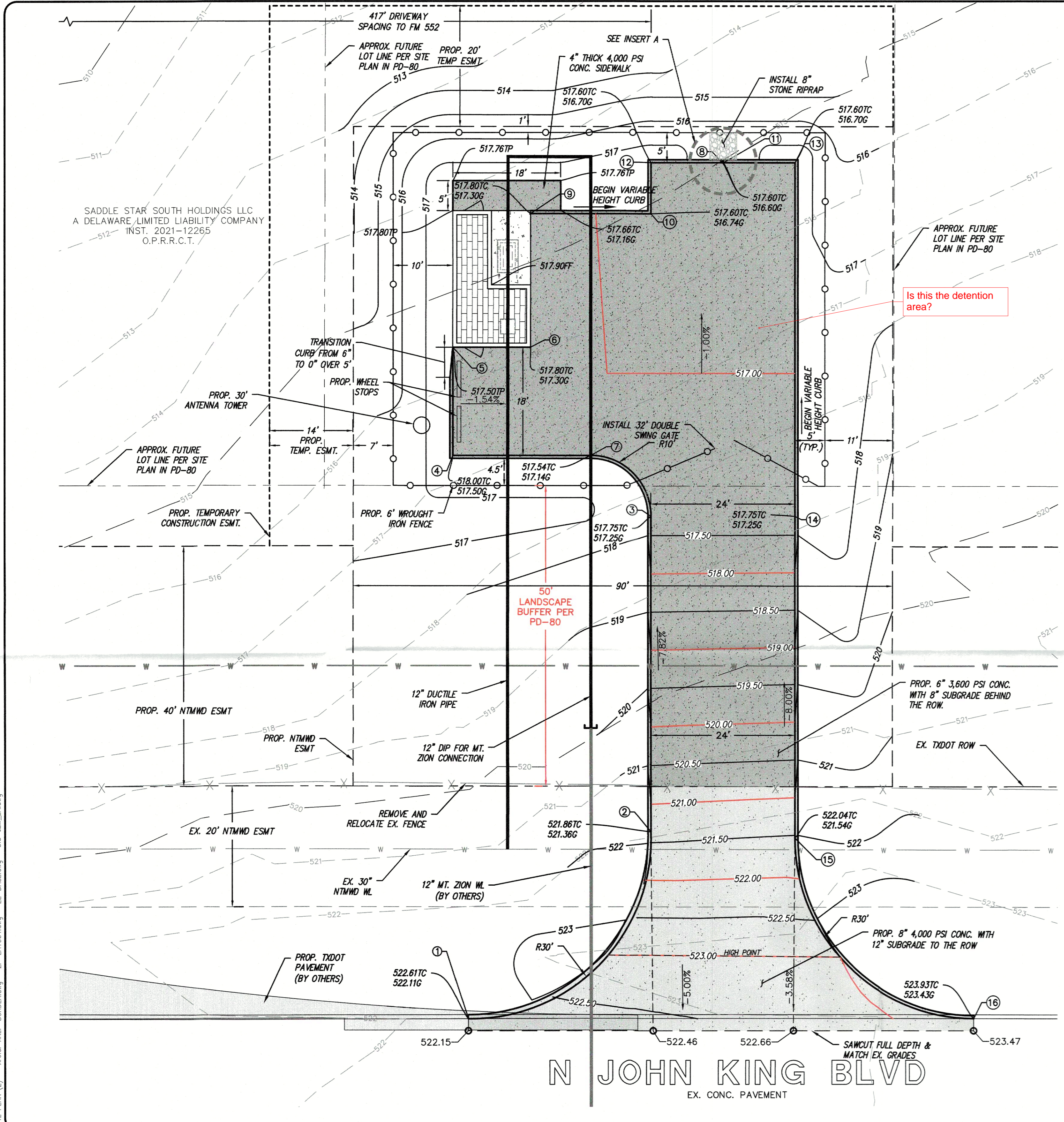
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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08/19/2024: 1. Tif Tuf, Tahoma 31 or Northbridge are much better varieties vs. Tifway 419 due to their drought, cold, wear and shade tolerances.
2. Teddy Bear or Little Gem Magnolia would be a better fit for this project.

1 and 2 or recommendation and not required.

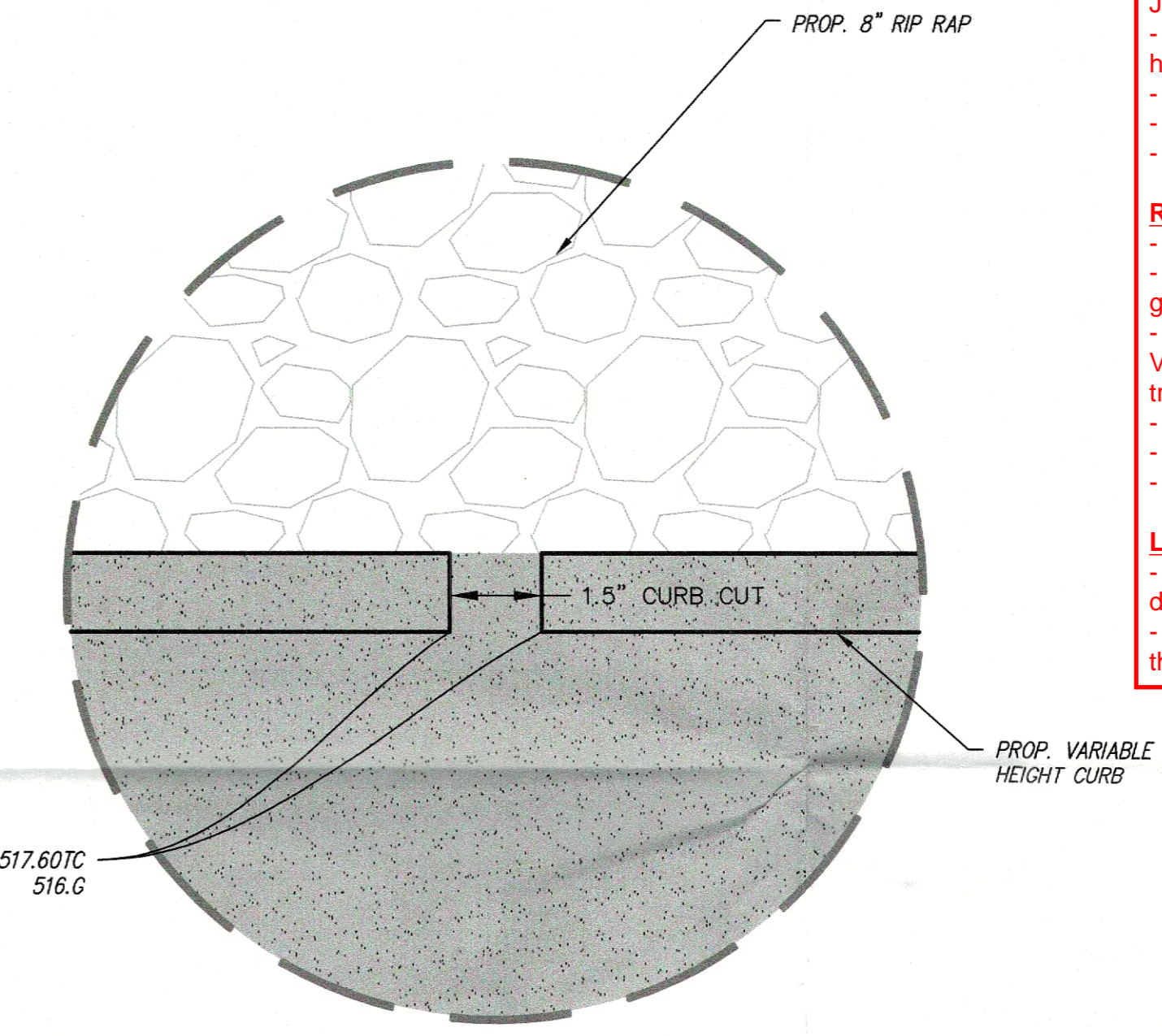
Drawing: T:\Projects\NTW22113\Eng-CSD\CAD\SHEETS\Site Plan.dwg at Aug 07, 2024 - 3:44pm by ewilliams
 Layout: MT. ZION METER VAULT SITE PLAN (2) Xrefs: XREF-BORDER.dwg - ZP-LAYOUT.dwg - ZP-BASE.dwg - DIS-UM.LA.dwg



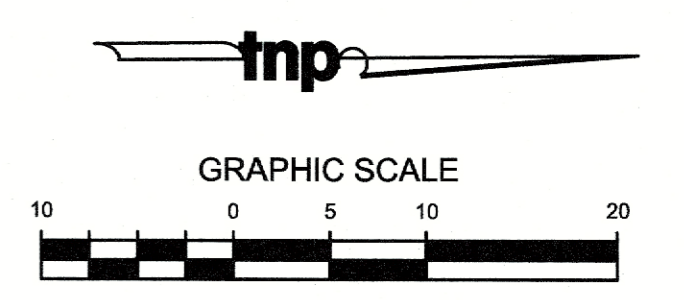
Point #	Northing	Eastng	DESCRIPTION
1	7041856.64	2596718.03	PC
2	7041886.80	2596686.68	PT
3	7041886.29	2596634.13	PT
4	7041853.19	2596624.45	PI
5	7041853.00	2596606.45	PI
6	7041866.00	2596606.31	PI
7	7041876.20	2596624.23	PC
8	7041897.66	2596575.33	PI
9	7041865.77	2596584.15	PI
10	7041885.80	2596583.96	PI
11	7041897.79	2596575.33	PI
12	7041885.73	2596575.45	PI
13	7041905.72	2596575.21	PI
14	7041910.29	2596633.88	PI
15	7041910.80	2596687.45	PC
16	7041941.06	2596717.16	PT

G= GUTTER ELEVATION
 TC= TOP OF CURB ELEVATION
 TP= TOP OF PAVEMENT ELEVATION
 FF= FINISHED FLOOR ELEVATION

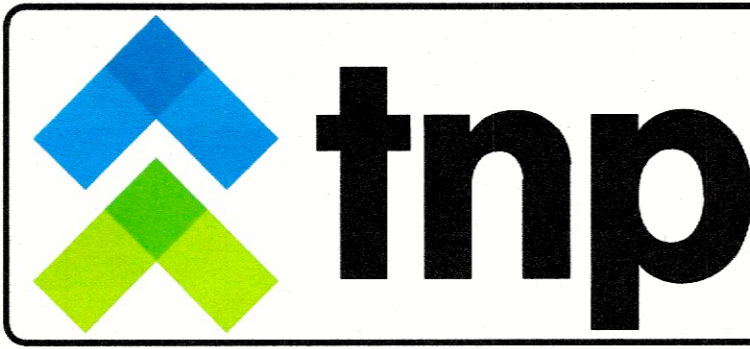
- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees for any public improvements
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 - Retaining walls (if needed) 3' and over must be engineered.
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 - Drive isles to be 24' wide
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- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



INSERT A
N.T.S.



no.	revision	by	date



teague nall and perkins, inc
 825 Waters Creek Blvd., Suite M300
 Allen, Texas 75013
 214.461.9867 ph 214.461.9864 fx
 www.tnpsc.com
 TRPELS: ENGR F-230; SURV 10011600, 10011601, 1019438
 GBPE: PEF007431; TBAE: BR 2673

This document is for interim review and is not intended for construction, bidding or permit purposes.
 JUSTIN N. WALTON, P.E. Date: 8/7/2024
 Tx. Reg. # 97267

scale when bar is 1 inch long
 1" = 10'
 vert N/A
 AUG 2024



WYLIE TO ROCKWALL 20" WATERLINE, WYLIE ROCKWALL FARMERSVILLE 30" WATERLINE, ROYCE CITY 36" WATERLINE, AND MT. ZION WSC WATER METER RELOCATIONS ALONG FM 552 IN DALLAS COUNTY

MT. ZION METER VAULT SITE PLAN

Inp project NTW22113
 sheet 32



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION **450' NORTH OF THE INTERSECTION OF JOHN KING BLVD. & FM 552**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **SF-8.4**

CURRENT USE **AGRICULTURAL**

PROPOSED ZONING **SF-8.4**

PROPOSED USE **MUNICIPALLY CONTROLLED UTILITY**

ACREAGE **0.4**

LOTS [CURRENT] **N/A**

LOTS [PROPOSED] **N/A**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **NORTH TEXAS MUNICIPAL WATER DISTRICT**

APPLICANT **TEAGUE, NALL, & PERKINS**

CONTACT PERSON **ELISA CARDONA**

CONTACT PERSON **ERIC WILLIAMS**

ADDRESS **505 E. Brown Street**

ADDRESS **825 WATTERS CREEK BOULEVARD
SUITE M300**

CITY, STATE & ZIP **WYLIE, TX 75098**

CITY, STATE & ZIP **ALLEN, TX 75013**

PHONE **469-626-4736**

PHONE **214-396-9560**

E-MAIL **ECARDONA@NTMWD.COM**

E-MAIL **EWILLIAMS@TNPINC.COM**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mark A. Simon [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

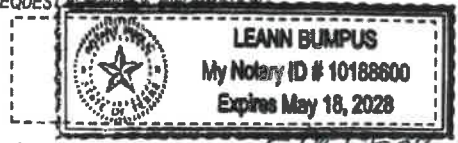
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE Eighth, 8th DAY OF August 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8th DAY OF August 2024

OWNER'S SIGNATURE

Mark A. Simon
Leann Bumpus

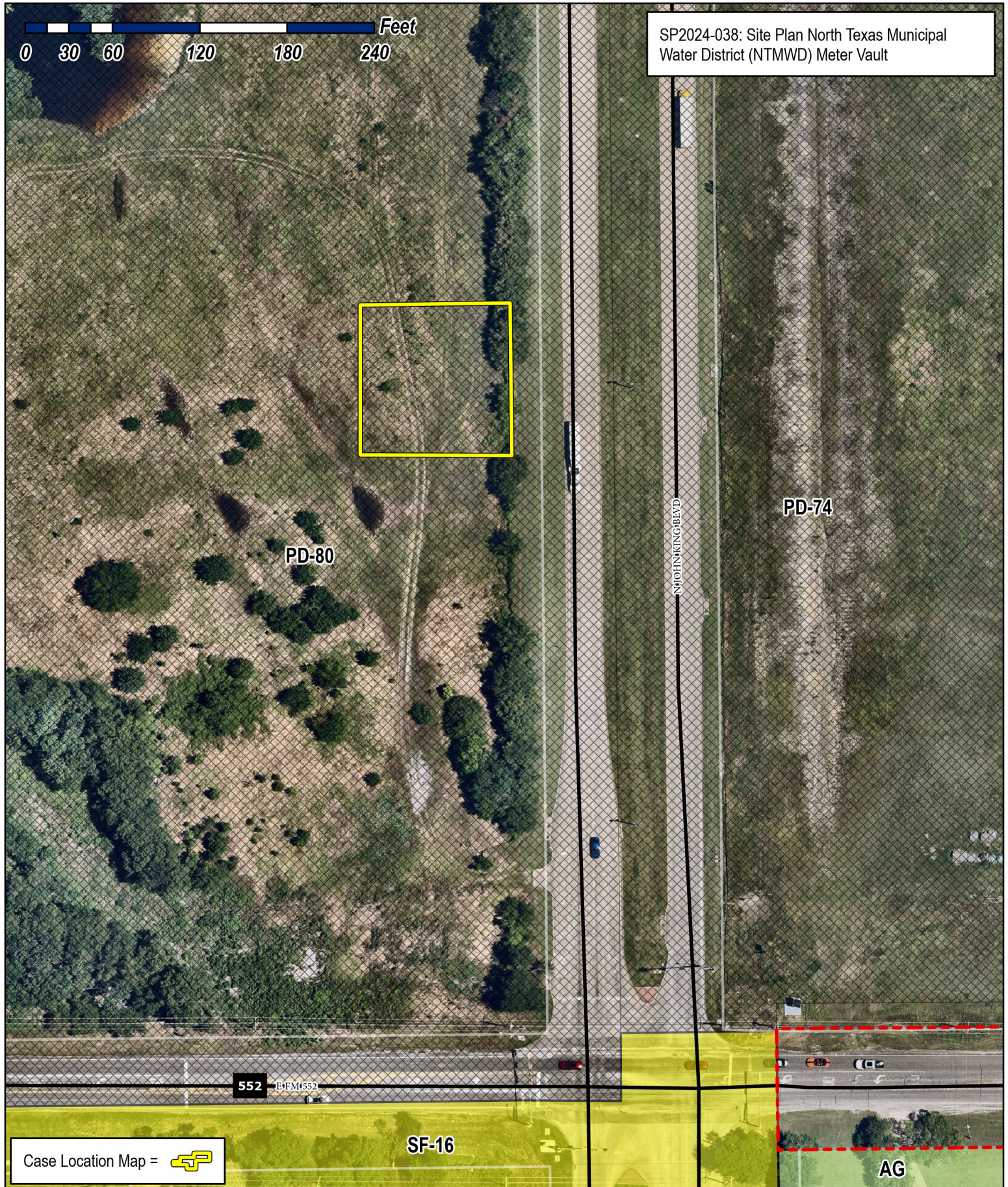
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 5/18/2028



SP2024-038: Site Plan North Texas Municipal Water District (NTMWD) Meter Vault



Case Location Map =

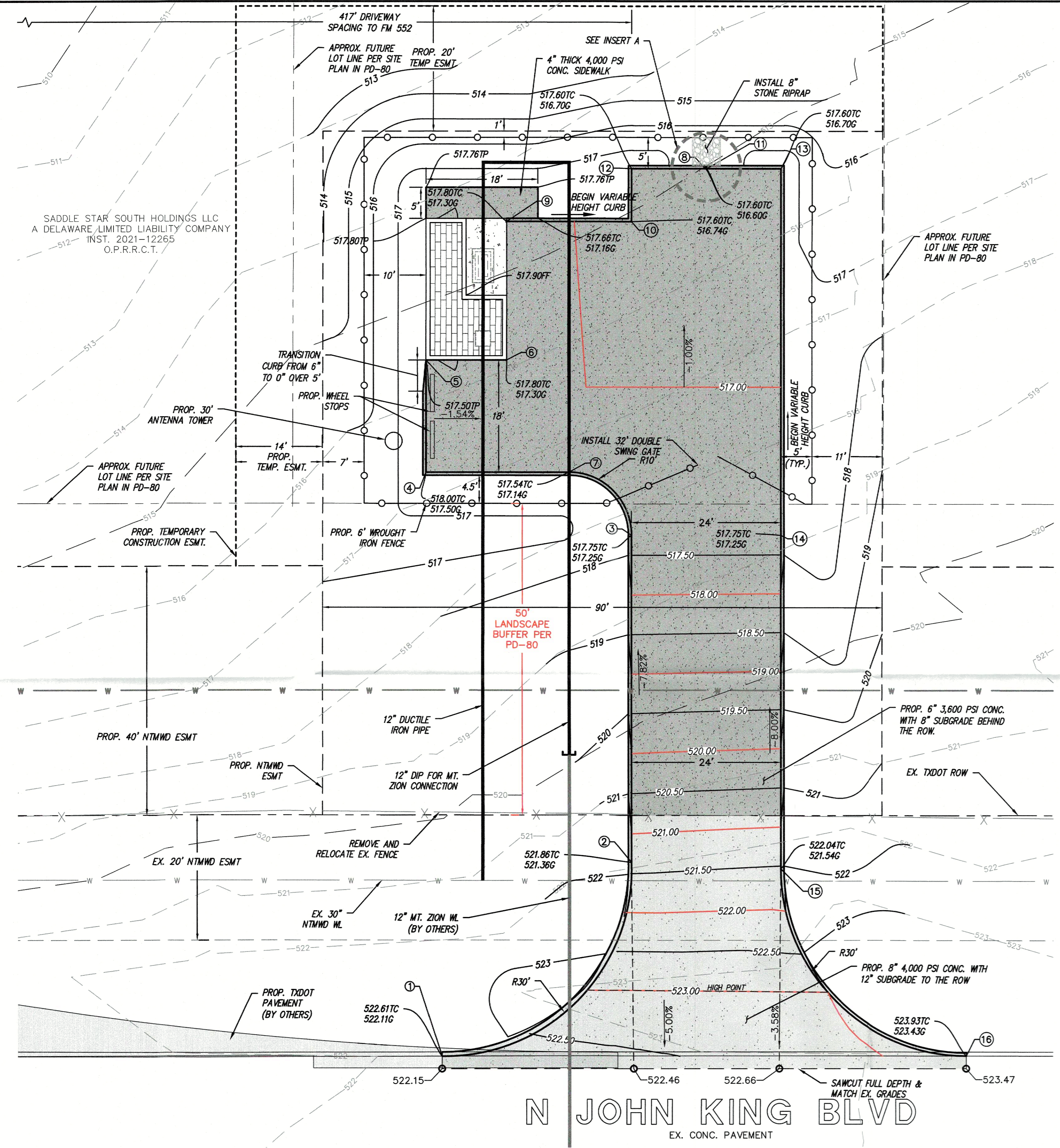


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

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Point #	Northing	Eastng	DESCRIPTION
1	7041856.64	2596718.03	PC
2	7041886.80	2596686.68	PT
3	7041886.29	2596634.13	PT
4	7041853.19	2596624.45	PI
5	7041853.00	2596606.45	PI
6	7041866.00	2596606.31	PI
7	7041876.20	2596624.23	PC
8	7041897.66	2596575.33	PI
9	7041865.77	2596584.15	PI
10	7041885.80	2596583.96	PI
11	7041897.79	2596575.33	PI
12	7041885.73	2596575.45	PI
13	7041909.72	2596575.21	PI
14	7041910.29	2596633.88	PI
15	7041910.80	2596687.45	PC
16	7041941.06	2596717.16	PT

G=GUTTER ELEVATION
 TC=TOP OF CURB ELEVATION
 TP=TOP OF PAVEMENT ELEVATION
 FF= FINISHED FLOOR ELEVATION

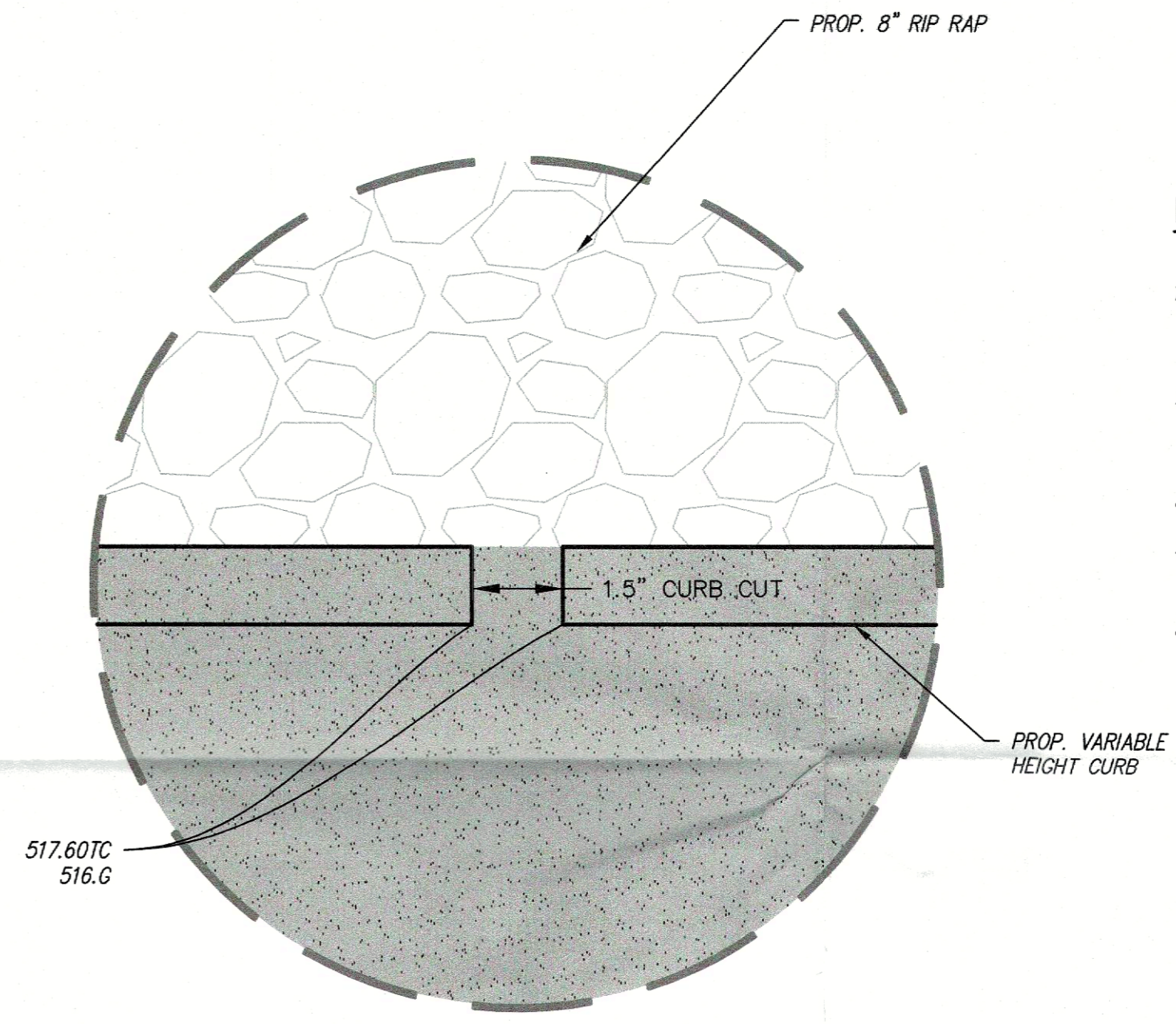
UTILITY NOTE:
 THE UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. TNP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT UTILITY COMPANIES AND TEXAS 811 AT 800-344-8377 OR 811 AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES IN ORDER TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.

LEGEND

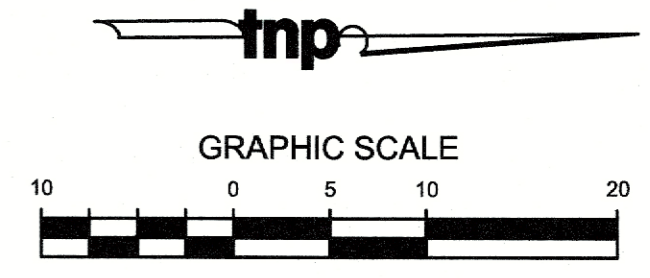
- PROP WATER LINE
- PROP TEMPORARY ESMT.
- PROP PERMANENT NTMWD ESMT.
- EX TXDOT ROW
- EX WATER LINE
- PROP. 6\"/>

8\"/>

- NOTES:**
- CONTRACTOR SHALL UNCOVER AND FIELD VERIFY HORIZONTAL AND VERTICAL DIMENSIONS AND EXISTING JOINT LOCATIONS FOR CONNECTION TIE-INS PRIOR TO MANUFACTURING OF NEW PIPE AND CONSTRUCTION.
 - CONTRACTOR SHALL PREPARE A WRITTEN DESCRIPTION OF THE TIE-IN PROCEDURES AND SUBMIT TO THE OWNER AT LEAST TWO WEEKS PRIOR TO SHUTDOWN.
 - REBAR SHALL BE #4 BARS @ 18\"/>

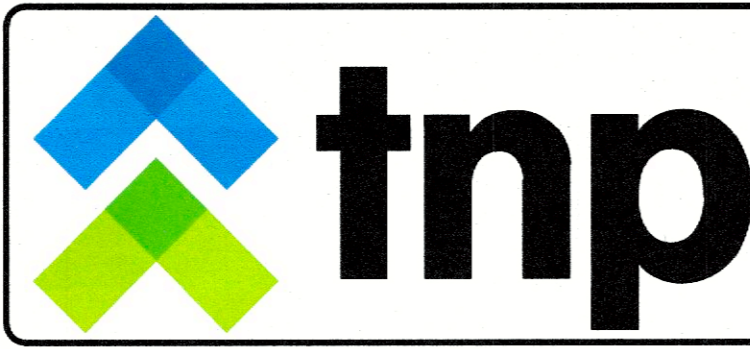


INSERT A
 N.T.S.



Drawing: T:\Projects\NTW22113\Eng-CSD\CAD\SHEETS\Site Plan.dwg at Aug 07, 2024--3:44pm by ewilliams
 Layout: MT. ZION METER VAULT SITE PLAN (2) Xrefs: XREF-BORDER.dwg - ZP-LAYOUT.dwg - ZP-BASE.dwg - DIS-ULM.LA.dwg

no.	revision	by	date



teague nall and perkins, inc
 825 Waters Creek Blvd., Suite M300
 Allen, Texas 75013
 214.461.9867 ph 214.461.9864 fx
 www.tnppinc.com
 TRPELS: ENGR F-230; SURV 10011600, 10011601, 1019438
 GBPE: PEF007431; TBAE: BR 2673

This document is for interim review and is not intended for construction, bidding or permit purposes.
 JUSTIN N. WALTON, P.E. Date: 8/7/2024
 Tx. Reg. # 97267

scale when bar is 1 inch long
 1" = 10'
 vert N/A
 AUG 2024

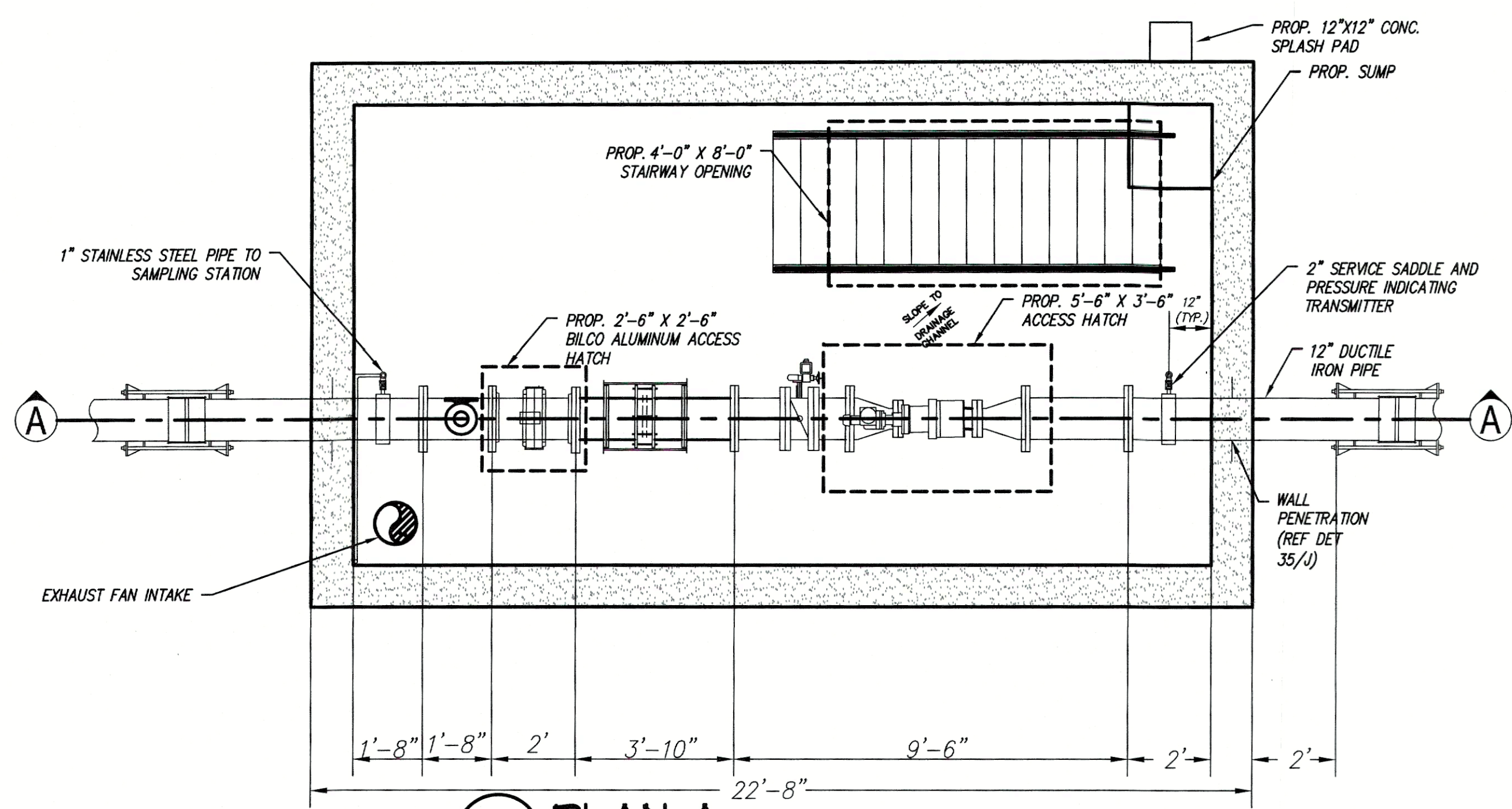


WYLIE TO ROCKWALL 20\"/>

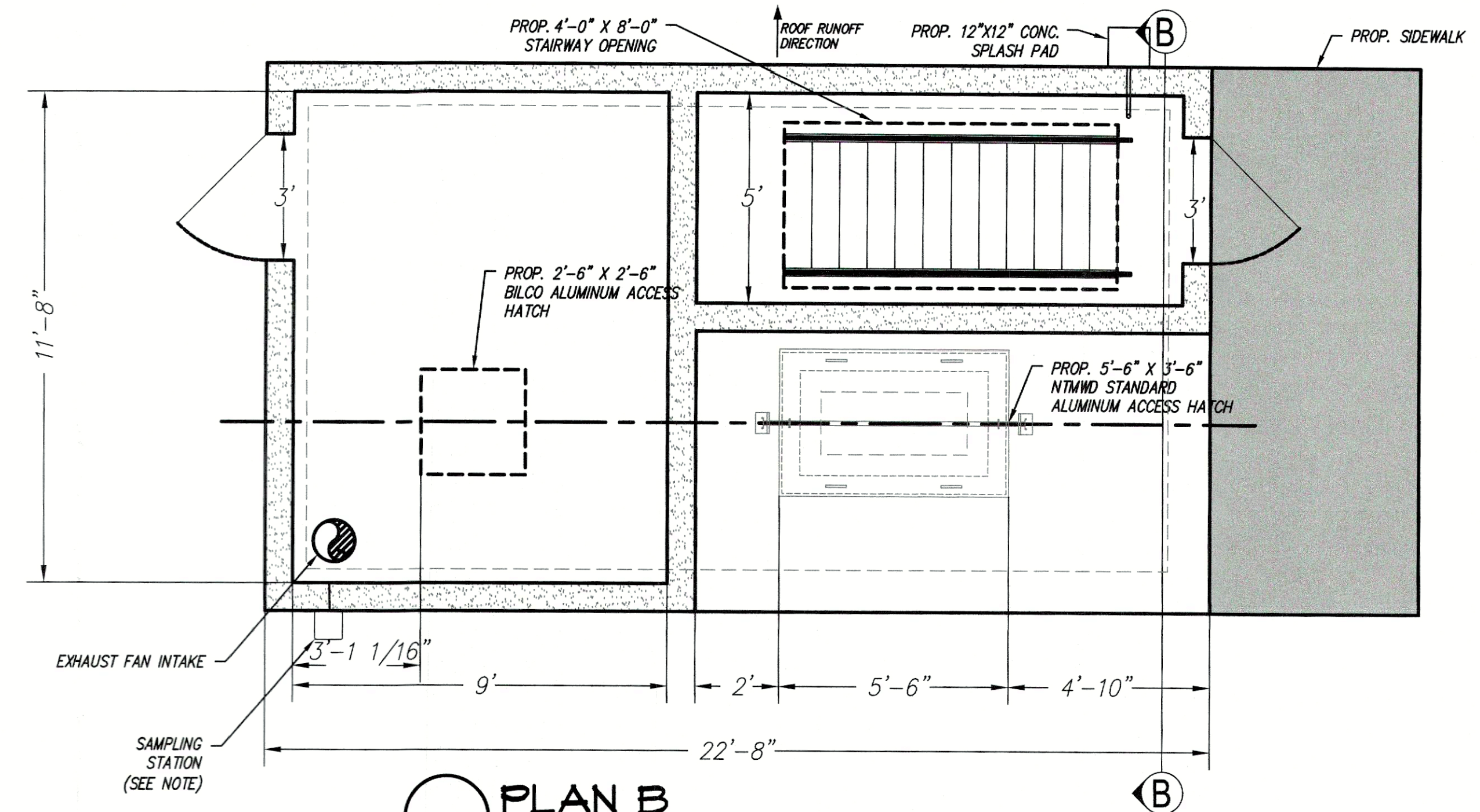
MT. ZION METER VAULT SITE PLAN

tnp project NTW22113 sheet

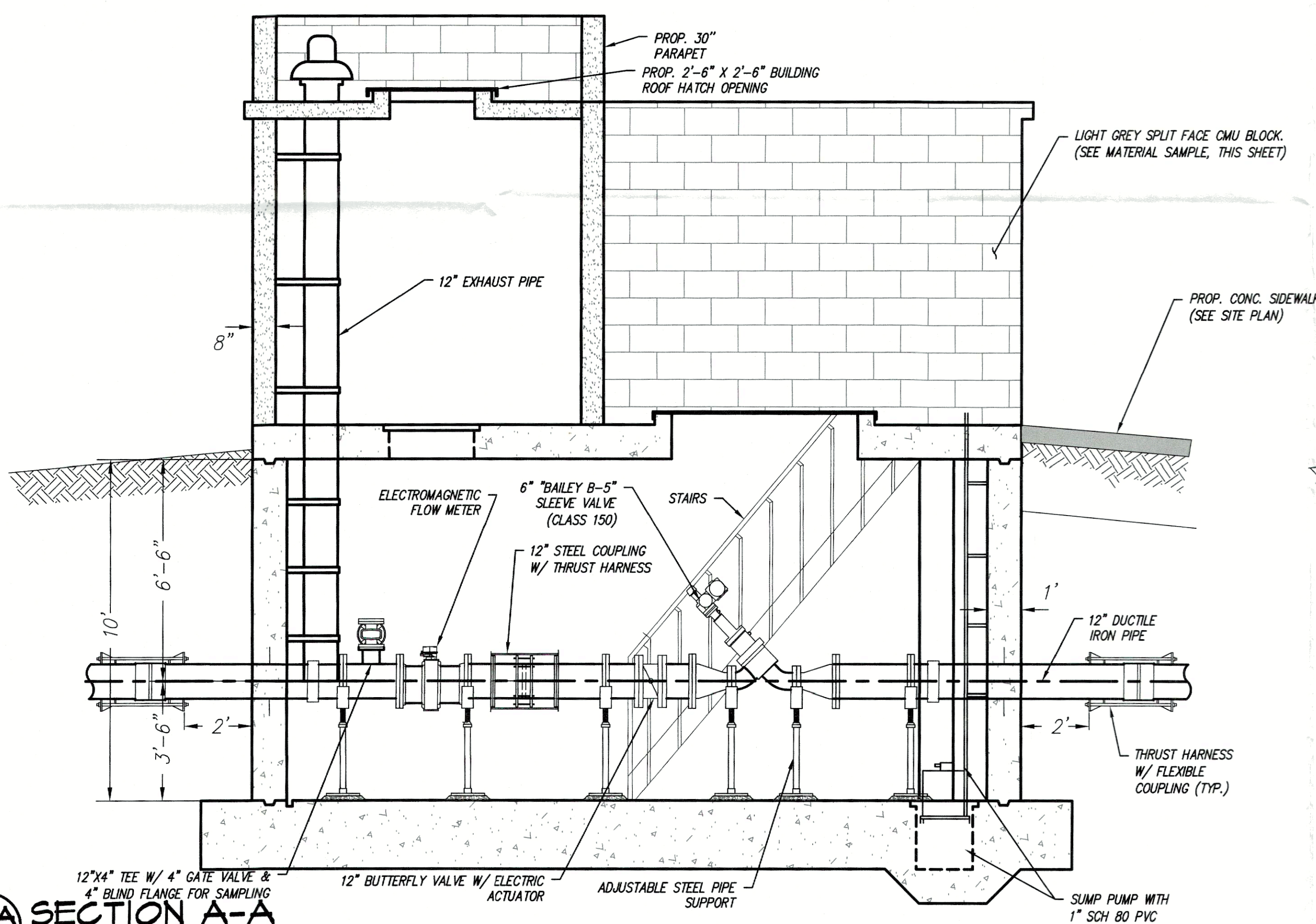
32



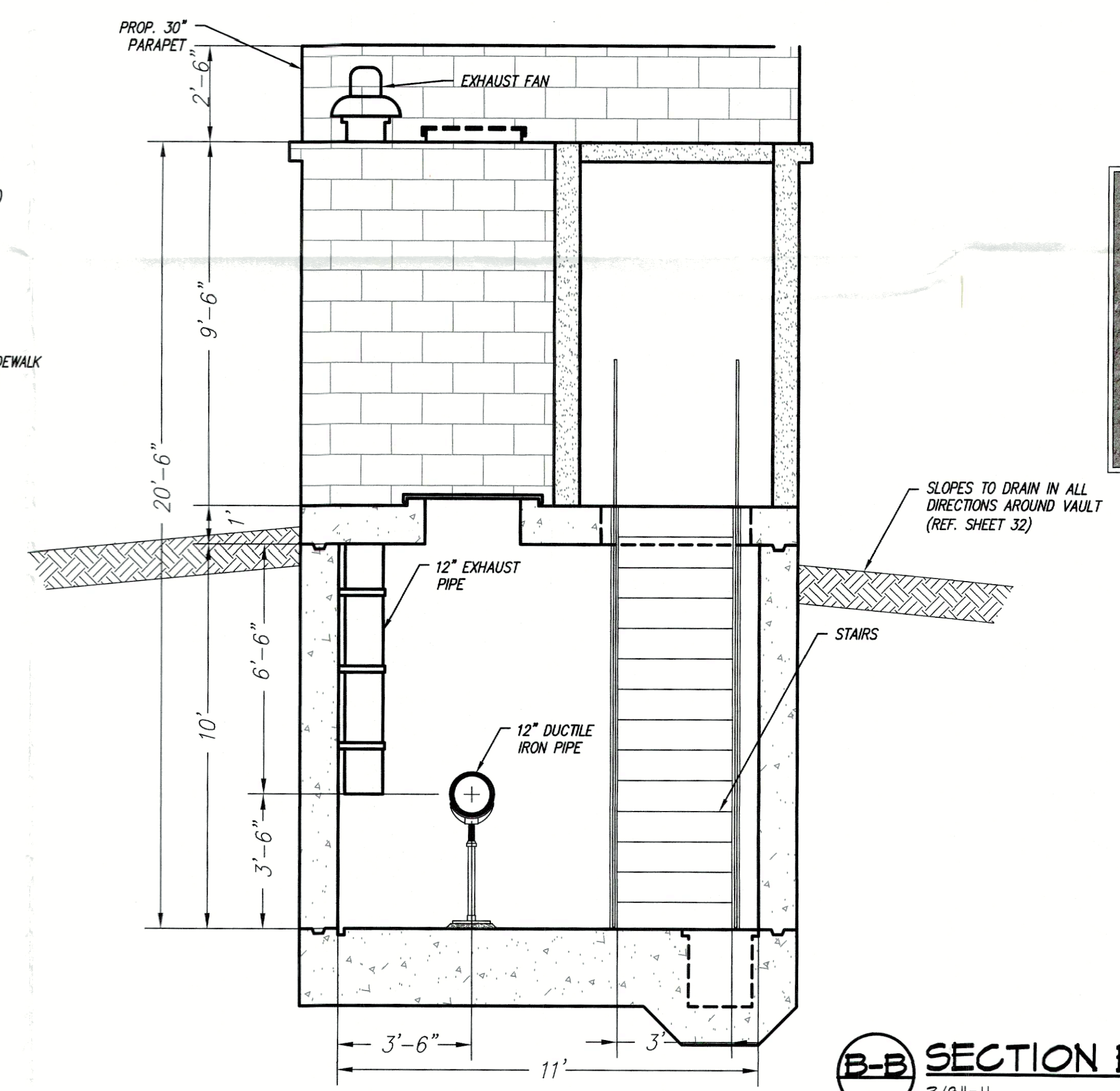
PLAN A
3/8"=1'



PLAN B
3/8"=1'

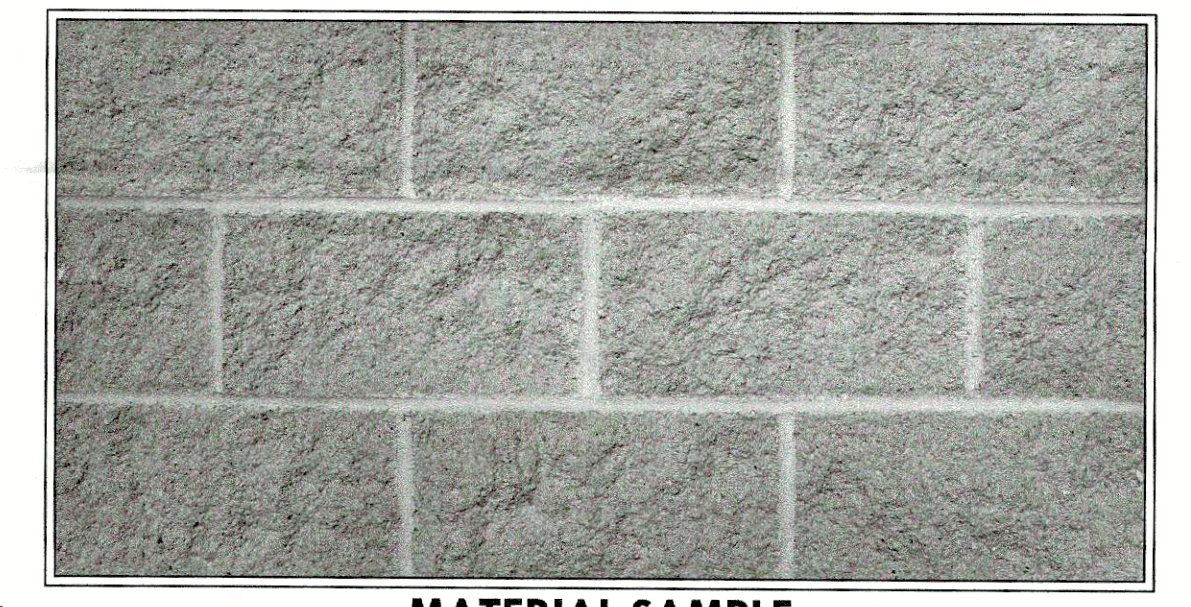


A-A SECTION A-A
3/8"=1'



B-B SECTION B-B
3/8"=1'

- NOTES:**
1. FINAL LOCATION OF SAMPLING STATION AND VAULT/WALL PENETRATION SHALL BE COORDINATED IN THE FIELD WITH THE DISTRICT INSPECTOR



MATERIAL SAMPLE

Drawing: T:\Projects\NTW22113\Eng-CED\CAD\SHEETS\Meter Vault Civil Drawings.dwg of Aug 05, 2024-2:44pm by williams
 Layout: METER VAULT PLANS & SECTIONS - A0E

no.	revision	by	date



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 GBPE: PEF007431; TBAE: BR 2673

This document is for interim review and is not intended for construction, bidding or permit purposes.
 JUSTIN N. WALTON, P.E. Date: JULY 14, 2023
 Tx. Reg. # 97267

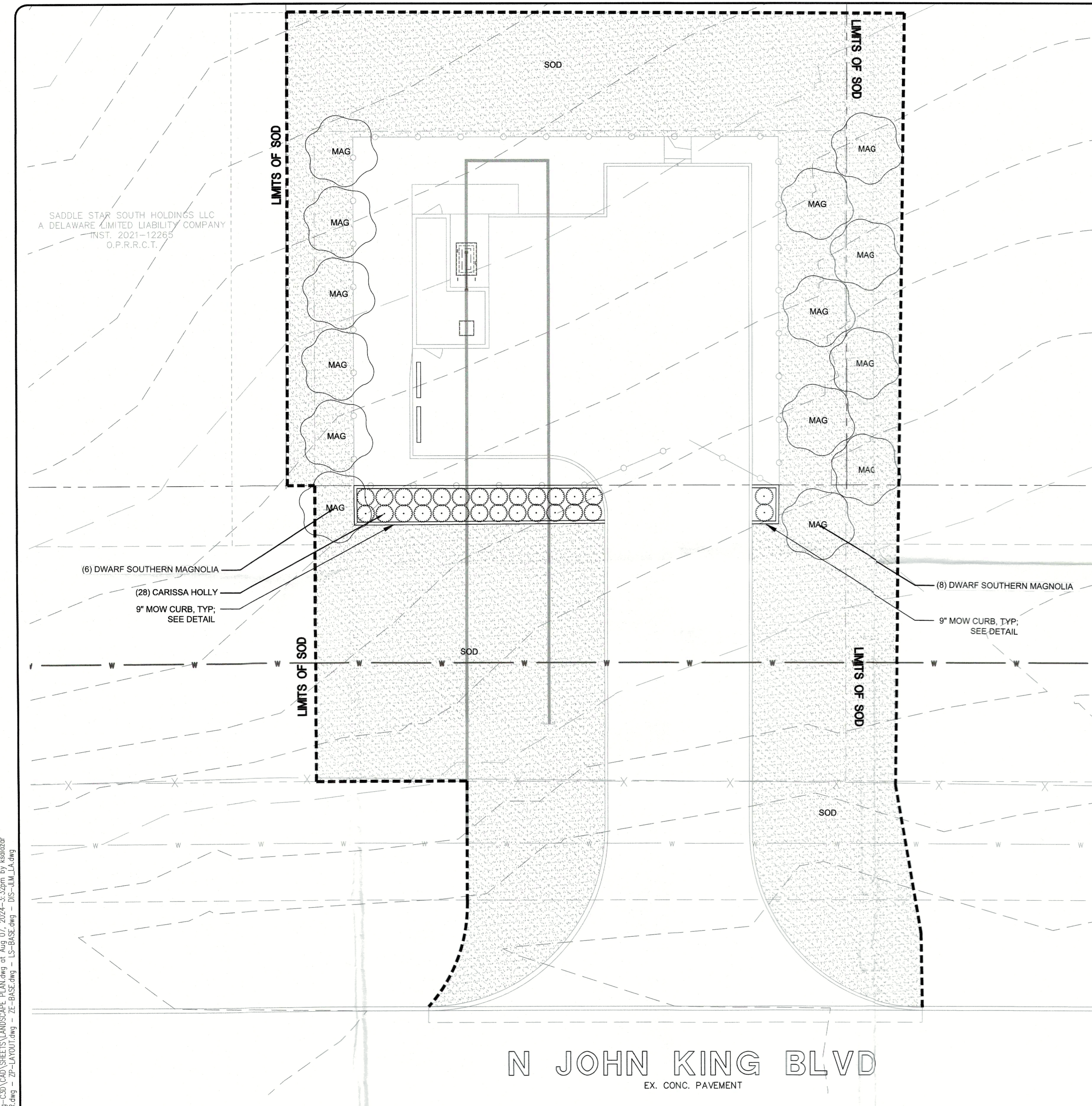
scale when bar is 1 inch long
 horiz 3/8"=1'
 vert N/A
 AUG 2024



WYLIE TO ROCKWALL 20" WATERLINE, WYLIE ROCKWALL FARMERSVILLE 30" WATERLINE, ROYCE CITY 36" WATERLINE, AND MT. ZION WSC WATER METER RELOCATIONS ALONG FM 552 IN DALLAS COUNTY

METER VAULT PLANS & SECTIONS

tnp project NTW22113
 sheet
33



SADDLE STAR SOUTH HOLDINGS LLC
 A DELAWARE LIMITED LIABILITY COMPANY
 INST. 2021-12265
 O.P.R.R.C.T.

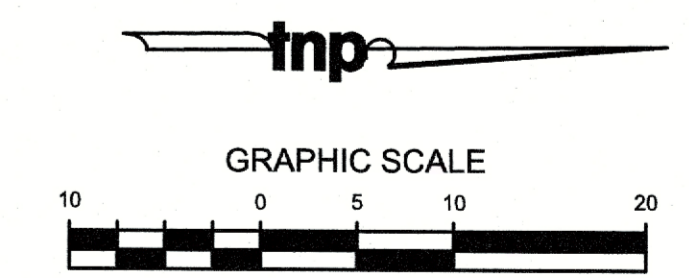
PLANT KEY

SYMBOL	COMMON NAME
ORNAMENTAL TREES	
	DWARF SOUTHERN MAGNOLIA
SHRUBS	
	CARISSA HOLLY
SOD/SEED	
	TIF 419 BERMUDA SOD

ALL PROPOSED LANDSCAPE SHALL
 BE TEMPORARILY IRRIGATED UNTIL
 PLANT ESTABLISHMENT

(6) DWARF SOUTHERN MAGNOLIA
 (28) CARISSA HOLLY
 9" MOW CURB, TYP.
 SEE DETAIL

(8) DWARF SOUTHERN MAGNOLIA
 9" MOW CURB, TYP.
 SEE DETAIL



N JOHN KING BLVD
 EX. CONC. PAVEMENT

Drawing: I:\Projects\NTW22113\Eng-CAD\Drawings\LANDSCAPE PLAN.dwg at Aug 07, 2024 - 3:32pm by isalazar
 Layout: 52
 Xrefs: REF=BBP001.dwg - ZP=LAYOUT.dwg - ZL=BASE.dwg - LS=BASE.dwg - D05-DM.dwg

no.	revision	by	date



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 JOE L. MADRID, L.A. Date: AUG 2024
 Tx. Reg. # 3207

scale when bar is 1 inch long
 horiz 1" = 10'
 vert N/A
 AUG 2024



WYLIE TO ROCKWALL 20" WATERLINE, WYLIE ROCKWALL FARMERSVILLE 30" WATERLINE, ROYCE CITY 36" WATERLINE, AND MT. ZION WSC WATER METER RELOCATIONS ALONG FM 552 IN DALLAS COUNTY

LANDSCAPE PLAN

tnp project
 NTW22113
 sheet
53

PLANTING NOTES

SECTION 1 - GENERAL

- These notes are intended as a field reference for the Contractor. The Contractor will thoroughly review these notes, specifications and the drawings prior to start of any work. The Contractor shall visit the site prior to submitting his bid and prior to start of work to become completely familiar with site conditions.
- It is the responsibility of the contractor to advise the Landscape Architect (hereinafter, LA) of any condition found on the site which prohibits installation as shown on these drawings.
- Prior to submitting a bid, the Contractor shall verify any discrepancies between the notes, specifications, or the drawings with the LA for clarification. If there is a discrepancy between the quantity of materials shown on the plans and the quantity of materials shown in the materials legends, the greater quantity will take precedence for bidding purposes. All quantities listed are for information only. It is the contractor's responsibility to provide full coverage of materials in all areas.
- Written dimensions prevail over scaled dimensions. Notify landscape architect of any discrepancies
- The Contractor bears all responsibility for obtaining all licenses and permits required by federal, state, and local agencies to accomplish the work of this project.
- Contractor shall complete soil test in all planting areas to determine soil amendment requirements and submit test results to LA for approval. Contractor shall adjust pH and fertility based upon these results. No addition to or placement of soil is to be done prior to initial soil test report approval. Testing shall be done by LA approved laboratory. No planting shall begin until results and proper adjustment have been made. It is the Contractor's responsibility to ensure proper drainage and fertility of all planting areas.
- Coordinate all work with the project's building contractor or owner.
- Warning! Call toll-free 811 before you dig! The contractor bears all responsibility for verifying all underground utilities, pipes, and structures in the field prior to construction. Any damage to utilities that are to remain shall be repaired immediately at no expense to the owner. The Contractor shall contact the building contractor and all utility authorities to mark location of site utilities. Install flags or stakes and maintain them in place throughout the project. Damage to utilities or other work shall be repaired at the expense of the contractor responsible for the damage. The locations of existing utilities as shown on these plans are approximate. There may be other underground utilities within the project area that are not shown. Landscape Architect and/or Engineer assumes no responsibility for any utilities not shown on plans.
- Due to existing vegetation and other site conditions, the Contractor should anticipate field adjustments by the LA and should understand such adjustments are not a change order.
- The Contractor shall give the LA 48 hours' notice of required inspections upon completion of each of the following phases:
 - Pre-Construction Conference after award of bid (on-site)
 - Construction debris/ weed clean-up (before any grading, fill, or irrigation)
 - Rough Grading (within 2" of finish grade), Utility Marking, and Tree Staking
 - Fine Grading and Tree Staking (before any tree pits are dug)
 - Tree Planting
 - Staking of Bedlines and/or Edging
 - Shrub Planting
 - Substantial Completion
 - Final Acceptance
- Contractor shall guarantee all plant material for one (1) full year from date of final acceptance. The cutting off of water or electricity by other trades or persons shall not void the warranty.
- It is the contractor's responsibility to insure the availability of water to the plants at all times until final acceptance. The contractor shall reject and replace all trees with tip-dieback of more than one (1) inch over the entire canopy of the tree and replace all shrubs or plants with any dieback. All rejected plant material shall be replaced with specified plant material within 14 calendar days at the contractor's expense.
- LA assumes no responsibility for damages, liabilities, or cost resulting from changes or alterations made to the plan without the express written consent of LA.
- All materials, locations, and workmanship are subject to approval or refusal by the LA. All materials, locations, and workmanship rejected by the LA shall be remedied at the Contractor's expense.

SECTION 2 - MATERIALS

- The Contractor shall check all material for specified requirements, shipping damage, pests, and diseases and shall reject all unsatisfactory materials. All plant material is to be carefully handled by the root ball, not the trunk, branches, and/or foliage of the plant. Mishandled material will be rejected. B&B material shall be "hardened off" after digging for at least 90 days and have at least 10" of rootball for every caliper inch. All material rejected by the LA shall be removed from the site and replaced with acceptable material at the Contractor's expense
- Plants shall be well formed, vigorous, growing specimens with growth typical of variety specified and shall be free from injury, insects, and diseases. All plant material is to be well rooted, not root bound, such that the root ball remains intact throughout the planting process. The Contractor shall reject all cracked root tails. All plant material shall conform to the specifications and sizes shown in the plant list and shall be nursery grown in accordance with the latest edition (ANSI Z60.1) of "American Standard for Nursery Stock." Any plant substitution shall be approved by landscape architect prior to purchase. Trees with co-dominant stems shall be rejected.
- Do not make substitutions. If specified material is not available, submit proof of non-availability to LA.
- All planting areas shall have organic topsoil that is natural, well-drained, friable, fertile, sandy-loam. Sandy-loam is to be pH 6.5-7.5. Heavy clays, limestone, poorly drained bottomland soil, silt, or alluvial soils are not allowed in any planting areas. Topsoil shall be free of harmful insects or nematodes, soil-borne diseases, toxins, select fill, inorganic subsoils, heavy metals, trash, petroleum by-products, rocks over 1/2" in diameter, rubble, roots, and weeds or weed seeds. Contractor shall submit a 2-cup sample in a gallon-size baggie to Landscape Architect before delivery of any soil to the site or placement of any soil in planting areas.
- Sod shall consist of live growing plants secured from sources which have dense, thickly matted root system throughout the soil of the sod for a minimum of one inch. Sod shall be free of weeds or other varieties of grasses.

20. Sod shall consist of live growing plants secured from sources which have dense, thickly matted root system throughout the soil of the sod for a minimum of one inch. Sod shall be free of weeds or other varieties of grasses.

21. Sod shall not be used where the roots are dried because of sun or wind. The landscape architect has the right to reject any or all of sod due to lack of care, improper cutting, or other agronomic problems.

SECTION 3 - EXECUTION

- The Contractor shall thoroughly remove from the construction site all limestone larger than 1/2" in diameter and all heavy clay to these depths: 6" minimum in turf and seed areas, and 18" minimum in planting beds. The LA shall verify that this is complete before the Contractor is authorized to proceed with fill of specified topsoil or grading. Scarify subsoil after removal of rock or heavy clay before adding topsoil so as to break up any surface tension.
- The Contractor shall thoroughly remove from the construction site all the following particles that are larger than 3/4" in diameter: inorganic select fill, heavy clay, limestone, and construction debris, mortar, concrete, paint, chemicals, weeds, plastic, paper, steel, mortar, masonry, construction debris, and other substances that are harmful to plant growth. Remove the above items to these depths: 6" minimum in turf and seed areas, and 18" minimum in planting beds. The LA shall verify that the above items are removed before the Contractor is authorized to proceed with fill with specified topsoil or grading. DO NOT PLACE ANY FILL ON CONSTRUCTION DEBRIS.
- Mow curbs shall be used at all planting bed edges when they are adjacent to lawn (see detail). Unless otherwise shown on plans, mow curbs shall intersect curbs, sidewalks, and buildings at 90 degrees (square). Mow curbs shall have expansion joints every 50' and at all abutments to other hardscape elements. Construction joints shall be saw cut at 10' on center. Mow curbs shall have curves that are smooth, flowing, and consistent in nature. Mow curbs with straight lines shall be straight. All formwork shall be within a 1/4" tolerance of drawings. No mow curb shall have a radius smaller than 72" unless specifically called out on drawings.
- Contractor shall fine grade all areas for approval by LA. Contractor shall be responsible for providing 2% positive drainage in all planting areas. No planting or mulching will take place until all construction, clean-up, fine grading, and irrigation is complete in the immediate area. Final finish grading shall be reviewed by the LA before any planting takes place. Contractor shall be responsible for any additional topsoil required to create a smooth condition prior to planting.
- All planting beds shall be amended as per plans details and specs. Submit trip tickets to L.A. for approval of quantity and type of materials.
- All sod and seed areas shall be amended as per plans and specifications.
- Scarify all rootballs (#1 and larger) to prevent plants from remaining pot-bound. This is to be done by hand or with a 3-prong cultivator but never with a shovel or machete.
- Place shrubs and groundcovers so that the top of the rootball is 1/4" to 3/4" above finish grade. Trees shall be set 1" above finish grade for each caliper inch of trunk. Example: A 3" tree shall be set 3" above finish grade.
- Water in and compact planting backfill to prevent formation of air pockets.
- Plants shall be set plumb, unless otherwise directed by LA.
- Back row of shrubs shall be planted 36" from face of building wall, groundcovers shall be 12" from building or as required by conditions. Front row of shrubs shall be planted a minimum of 24" behind (12" for ground cover) bed lines at lawns or walks and minimum 36" back from curbs, driveways, and parking areas.
- After planting, remove strapping, wire "ears" and string, cords, burlap, etc. from top of B&B rootballs.
- All planting beds and trees shall be mulched with 3" of mulch (2.5" after settlement).
- All trees are to be stabilized per detail and specs immediately after planting.
- All sod areas shall be thoroughly graded and smoothed with at least 8 passes in different directions using a drag-behind system such as a bunker rake or other device until very smooth and with 1/4" of specified grade (see civil sheets for grading plans).
- Prior to sod installation, a fertilizer shall be applied and tilled into the prepared soil. Application must be done no longer than 24 hours prior to installation of sod. Do not apply fertilizer when a possibility of rain might occur before sod is installed. Reference specifications for specific type of fertilizer to be used.
- Lay sod in parallel rows with tight joints. All sod must be placed perpendicular to slopes and staggered no less than 12" on each row. Slopes greater than 4:1 must be held in place with galvanized sod pins, wood pegs, or other method approved by LA. All sod shall be rolled with a 5-ton mechanical roller in at least two directions within 24 hours of laying. All sod areas shall be barricaded with wood stakes and ribbon for no less than 7 days.
- Plant material shall be pruned as necessary to control size but not to disrupt the natural growth pattern or characteristic form of the plant except as necessary to achieve height clearance for visibility and pedestrian passage or to achieve a continuous opaque hedge if required.
- All plant material shall be fully-maintained in a healthy and growing condition until final acceptance, and must be replaced with plant material of same variety and size if damaged, destroyed, or removed. This includes mowing, pruning, watering, and weeding.
- Landscape areas shall be kept free of trash, weeds, debris, and dead plant material until final acceptance. Any damage to landscape areas shall be repaired at no cost to owner.

PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
CANOPY TREES								
	CEDAR ELM	Ulmus crassifolia	3	4" Cal.	12'-14'	5'-6"	As shown	CONTAINER GROWN, FULL DENSE HEAD, SYMMETRICAL, SINGLE, STRAIGHT TRUNK
ORNAMENTAL TREES								
	TEXAS REDBUD	Cercis canadensis texensis	4	45 Gal.	10'-12'	5'-6"	As shown	CONTAINER GROWN, FULL DENSE HEAD, SYMMETRICAL, SINGLE, STRAIGHT TRUNK, GLOSSY LEAF VARIETY.
SHRUBS								
	CARISSA HOLLY	Ilex cornuta 'Carissa'	28	5 Gal.	18"-22"	20"-24"	32" O.C.	CONTAINER GROWN, MATURE ROOT SYSTEM BUT NOT ROOT BOUND, FULL BROAD TOP.
SOD/SEED								
	TIF 419 BERMUDA SOD	Cynodon dactylon 'TIF 419'	7,845 sf	Rolled sod	n/a	n/a	n/a	REF PLANTING NOTES AND SPECIFICATIONS

Drawing: I:\Projects\NTW22113\Eng-CAD\01\LANDSCAPE SCHEDULE AND NOTES.dwg at Aug 07, 2024 3:33pm by kslazor
 Layout: LANDSCAPE SCHEDULE AND NOTES - XREF-BORDER.dwg - ZP-LAYOUT.dwg - ZP-BA&E.dwg - LS-BA&E.dwg - DIS-ALL.dwg

no.	revision	by	date



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 JOE L. MADRID, L.A. Date: AUG 2024
 Tx. Reg. # 3207

scale when bar is 1 inch long
 horiz N/A
 vert N/A
 AUG 2024



WYLIE TO ROCKWALL 20" WATERLINE, WYLIE ROCKWALL FARMERSVILLE 30" WATERLINE, ROYCE CITY 36" WATERLINE, AND MT. ZION WSC WATER METER RELOCATIONS ALONG FM 552 IN DALLAS COUNTY

LANDSCAPE SCHEDULE AND NOTES

tnp project NTW22113 sheet **54**



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Bethany Ross, *Planner*

DATE: August 27, 2024

SUBJECT: MIS2024-017; *Exception for a Front Yard Fence for 670 N. Stodghill Road*

The applicant, Danny Mayberry, is requesting the approval of an exception for a front yard fence. The subject property is located on a 15.159-acre parcel of land (*i.e. Lot 1, Block A, Rockwall Lakeside Church of Christ Addition*) addressed as 670 N. Stodghill Road. The applicant has indicated that the purpose of the proposed front yard fence is to secure a play area for kids that are three (3) years old or younger. In addition, the proposed fence will be: [1] constructed using wrought-iron, [2] be 48-inches in height, and [3] be 50.00% transparent.

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a fence is defined as “(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure.” In addition, Subsection 08.04(D)(2) of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) states that, “(n)o fence shall be constructed in the front yard of a non-residential property without being granted an exception from the Planning and Zoning Commission...” This section goes on to lay out the criteria to be considered by the Planning and Zoning Commission when reviewing exceptions for front yard fences. This criterion is as follows: (a) the fence is to be 50.00% transparent, (b) the fence does not exceed eight (8) feet (*or 96-inches*) in height, and (c) opaque fences should be prohibited. In this case, the fence meets all of the requirements for a front yard fence. With this being said, this request will require an exception for a front yard fence from the Planning and Zoning Commission.



*FIGURE 1: PROPOSED FRONT YARD FENCE LOCATION
(RED LINE IS THE FENCE LOCATION)*

Staff should note that the front yard fence requirements were written with the intent of restricting front yard fences that completely or partially enclose or impair visibility of the primary structure, and that the applicant's fence does not appear to be intended to enclose or impair visibility of the primary structure. Based on this the proposed front yard fence does not appear to have a negative impact on any other adjacent residential properties; however, front yard fences are discretionary decisions for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff will be available at the meeting on August 27, 2024.

PROJECT COMMENTS



CITY OF ROCKWALL
 385 S. GOLIAD STREET
 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-7700

DATE: 8/23/2024

PROJECT NUMBER: MIS2024-017
 PROJECT NAME: Exception to a Front Yard Fence at 670 N. Stodghill Road
 SITE ADDRESS/LOCATIONS:

CASE CAPTION: Discuss and consider a request by Danny Mayberry on behalf of Eastridge Church of Christ for the approval of a Miscellaneous Case for an Exception for a Front Yard Fence on a 15.159-acre parcel of land identified as Lot 1, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, addressed as 670 N. Stodghill Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/22/2024	Approved w/ Comments

08/22/2024: 1. Show on permit plans all existing easements to ensure fence is not located within the easement.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2024	Approved w/ Comments

08/23/2024: Fence permit through the Building Inspection Department will be required.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/19/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/19/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/16/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/19/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	08/16/2024	Approved w/ Comments

08/20/2024: MIS2024-017; Exception for a Front Yard Fence at 670 N. Stodghill Road

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request approval of a Miscellaneous Case for an Exception for a Front Yard Fence on a 15.159-acre parcel of land identified as Lot 1, Block A, Rockwall Lakeside Church of Christ Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, addressed as 670 N. Stodghill Road.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

I.3 Subsection 08.04(D)(2), Front Yard Fences, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC) states:

Front Yard Fences. No fence shall be constructed in the front yard of a non-residential property without being granted an exception from the Planning and Zoning Commission. For the purposes of this provision the front yard is defined as the area between the front façade of the primary structure and the front property line (as depicted in Figure 15). The Planning and Zoning Commission may authorize the issuance of an exception for the construction of a front yard fence subject to the following provisions:

- (a) Location. Properties adjacent to IH-30, John King Boulevard, and SH-205 shall be prohibited from having a front yard fence.
- (b) Wrought Iron or Decorative Metal Fences. Wrought iron or decorative metal fences (e.g. as depicted in Figure 15) shall not exceed eight (8) feet in height.
- (c) Vinyl Coated Chain-Link. In the Heavy Commercial (HC), Light Industrial (LI), and Heavy Industrial (HI) District a vinyl coated chain-link fence may be established in the front yard pending that it [1] is situated a minimum of ten (10) feet off of the front property line, and [2] three (3) tiered screening (i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees) is established in front of the proposed front yard fence along the entire length of the front property line.
- (d) Opaque Fences. Opaque fences are prohibited in the front yard of non-residential properties.

In considering a front yard fence, the Planning and Zoning Commission may require applicants to provide additional information, plans, drawings, and/or other information concerning the proposed front yard fence. In addition, the Planning and Zoning Commission may establish additional conditions of construction for any fence.

I.4 According to Article 13, Definitions, of the Unified Development Code (UDC), a fence is defined as “(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure.”

I.5 In this case, the applicant is proposing a 48-inch, wrought-iron front-yard fence on the subject property. This appears to be in conformance with the criteria for front yard fences.

I.6 Please note the scheduled meeting for this case:

1) Planning & Zoning meeting will be held on August 27, 2024 at 6pm in the council chambers at City Hall.

I.7 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

Show on permit plans all existing easements to ensure fence is not located within the easement.

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES: <input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ <input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ <input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ <input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) ¹ <input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00) <input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00) SITE PLAN APPLICATION FEES: <input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) ¹ <input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	ZONING APPLICATION FEES: <input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹ <input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2} <input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹ OTHER APPLICATION FEES: <input type="checkbox"/> TREE REMOVAL (\$75.00) <input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ² NOTES: ¹ : IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. ² : A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.
--	--

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 670 N. Stodghill Rd Rockwall Texas 75089

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION East Ridge church of Christ - front of building

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<input checked="" type="checkbox"/> APPLICANT
CONTACT PERSON <u>Danny Mayberry</u>	CONTACT PERSON <u>Danny Mayberry</u>
ADDRESS _____	ADDRESS <u>670 N. Stodghill Rd</u>
CITY, STATE & ZIP _____	CITY, STATE & ZIP <u>Rockwall Texas</u>
PHONE _____	PHONE <u>(972) 679-5388</u>
E-MAIL _____	E-MAIL <u>danny@eastridge, cc</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Danny Mayberry [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

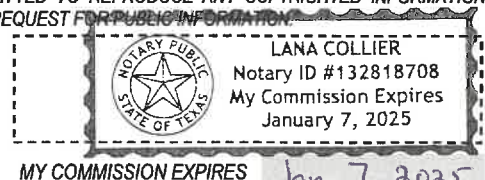
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF August, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF August, 2024.

OWNER'S SIGNATURE

Danny Mayberry
Lana Collier

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES Jan 7, 2025



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 670 N. Stodghill Rd Rockwall Texas 75089

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION East Ridge church of Christ - front of building

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

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OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER APPLICANT

CONTACT PERSON Danny Mayberry CONTACT PERSON Danny Mayberry

ADDRESS _____ ADDRESS 670 N. Stodghill Rd

CITY, STATE & ZIP _____ CITY, STATE & ZIP Rockwall Texas

PHONE _____ PHONE (972) 679-5388

E-MAIL _____ E-MAIL danny@eastridge, cc

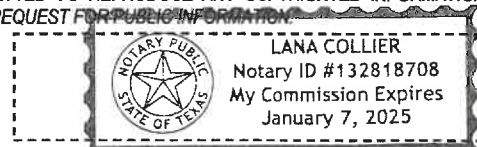
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Danny Mayberry [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF August, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF August, 2024.

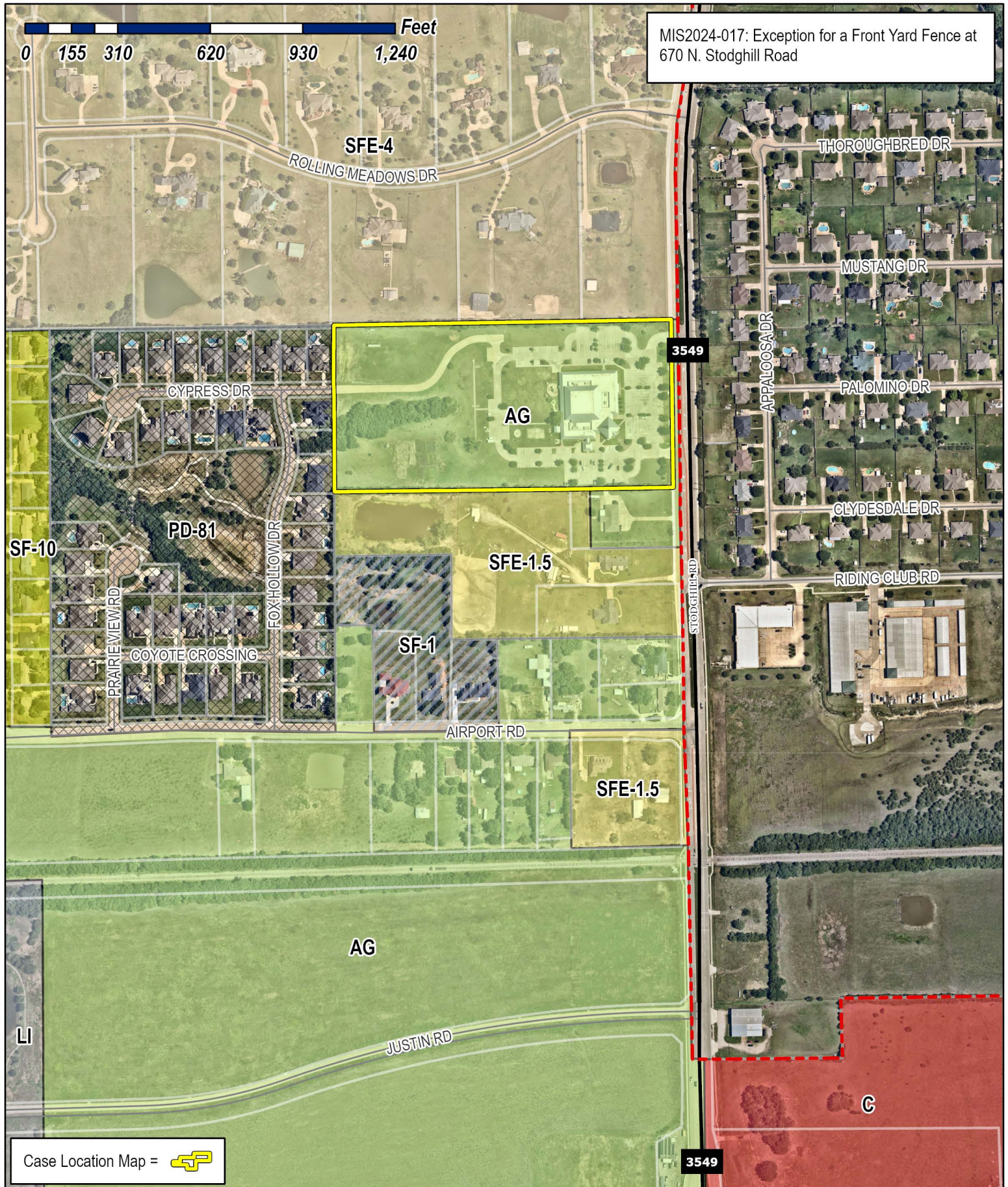
OWNER'S SIGNATURE Danny Mayberry
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Lana Collier



MY COMMISSION EXPIRES Jan 7, 2025



MIS2024-017: Exception for a Front Yard Fence at 670 N. Stodghill Road



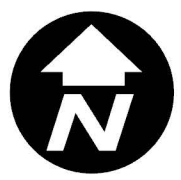
Case Location Map =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Application Letter

As the churches preschool grows we are wanting to add a fence in the front of our building so the kids will have a more secure and state approved play area for the 3year olds and younger.













CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Henry Lee, *Senior Planner*

DATE: August 27, 2024

SUBJECT: MIS2024-018; *Alternative Tree Mitigation Settlement Agreement for 701 E. IH-30*

The applicant, Mike Feather of Kimley-Horn on behalf of John Wardell of Lakepointe Church, is requesting the approval of an *Alternative Tree Mitigation Settlement Agreement*. The subject property is located on a 34.4904-acre parcel of land identified as Lot 3, Block A, Lake Pointe Baptist Church Addition, which is located on the southside of IH-30 and between Ridge Road [FM-740] and Market Center Drive. In July 2024 the property owner held a *Pre-Application Meeting* with staff to discuss improvements on the subject property. It was determined that an *Alternative Tree Mitigation Settlement Agreement* would be required for the proposed improvements. In accordance with staff comments the applicant submit an application, a letter, and a treescape plan on August 16, 2024.

The *Treescape Data Table* provided by the applicant indicates that 1,224-inches of trees will be removed from the subject property as a result of the proposed development. According to Subsection 05(F), *Mitigation Balance*, of Article 09, *Tree Preservation*, of the Unified Development Code (UDC) "... (t)he developer/property owner can provide the required number of trees -- four (4) inch caliper DBH minimum -- on the subject property to offset the total mitigation balance ...". In this case, the landscape table provided by the applicant indicates that 385 caliper inches will be planted on-site. With the planted trees, the remaining mitigation balance will be 839 inches (*i.e.* 1,224 – 385 = 839). The applicant's letter indicates that this is the first phase of the improvements proposed on the subject property. Given this, the applicant is requesting to defer the remaining balance until the next phase of the development in order to capture any additional plantings. According to Section 05(F), *Tree Mitigation Requirements*, of Article 09, *Tree Preservation*, of the Unified Development Code (UDC), "(t)ree preservation credits may be purchased at a rate of \$200.00 per inch for up to 20.00% of the total replacement inches..."; however, credits may be purchased at \$100.00 per inch if new trees are planted on site. Based on the applicant's letter, they are requesting to pay the mitigation balance in full if the future phase does not complete a treescape plan by December 31, 2025. At that time, the mitigation fee will be \$83,900.00 (*i.e.* 839 caliper inches x \$100.00 per caliper inch = \$83,900.00). Staff should note that this represents 68.60% of the total mitigation balance. The City Council – *pending a recommendation from the Planning and Zoning Commission* -- is charged with acting upon the proposed *Alternative Tree Mitigation Settlement Agreement*. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff will be available at the meeting on August 27, 2024.

PROJECT COMMENTS



CITY OF ROCKWALL
 385 S. GOLIAD STREET
 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-7700

DATE: 8/23/2024

PROJECT NUMBER: MIS2024-018
 PROJECT NAME: Alternative Tree Mitigation Plan 701 E. Interstate 30
 SITE ADDRESS/LOCATIONS: 701 E Interstate

CASE CAPTION: Discuss and consider a request by Mike Feather of Kimley-Horn on behalf of John Wardell of Lakepointe Church for the approval of a Miscellaneous Case for an Alternative Tree Mitigation Settlement Agreement on a 34.4904-acre parcel of land identified as Lot 3, Block A, Lake Pointe Baptist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 701 E. IH-30, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Henry Lee	08/23/2024	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/19/2024	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/19/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	08/23/2024	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/19/2024	Approved w/ Comments

08/19/2024: 1. December 2025 is a long way into the future, so I could support if needed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/23/2024	Approved w/ Comments

08/23/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Miscellaneous Case for an Alternative Tree Mitigation Settlement Agreement on a 34.4904-acre parcel of land identified as Lot 3, Block A, Lake Pointe Baptist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 701 E. IH-30.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (MIS2024-018) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.5 Treescap Plan:

1. Tree 19839 is indicated as a Cedar tree, and does not clarify if it is an Eastern Red Cedar or a Cedar Elm. Looking at aerials and street view it appears to be a Cedar Elm. Based on this the mitigation is 1:1, which would make the mitigation 16-inches. (Section 05, of Article 09, UDC)
2. Feature Trees are defied as "(a)ny tree that has a DBH of greater than 25-inches." Based on this, trees 19781, 19784, 19785, and 19830 require double mitigation. (Section 05, of Article 09, UDC)
3. Based on the letter, you indicate that 385-inches are being replanted on site. Please provide me with the landscape plan showing where the trees are being planted. Include a landscape table that includes the species and size (i.e. caliper) of tree being planted. (Section 05, of Article 09, UDC)
4. Based on the letter, you indicate that there are 154-inches in mitigation credit. If you are referring to the Tree Preservation Credits outlined in the Unified Development Code (UDC), this applies to development on a vacant parcel. (Section 05, of Article 09, UDC)
5. Based on items 1-4 above, the total mitigation balance is 839-inches. Please update the letter to reflect this. (Section 05, of Article 09, UDC)

I.6 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting will be held on August 27, 2024.
- (2) City Council meeting will be held on September 3, 2024.

I.7 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). A representative must be present for these meetings.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 701 E-I-30, Rockwall, TX 75087

SUBDIVISION LAKE POINTE BAPTIST CHURCH ADDITION LOT 3 BLOCK A

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD CURRENT USE CHURCH CAMPUS

PROPOSED ZONING N/A PROPOSED USE CHURCH CAMPUS

ACREAGE 35.6 LOTS [CURRENT] 1 LOTS [PROPOSED] N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER LAKEPOINTE CHURCH

APPLICANT KIMLEY-HORN

CONTACT PERSON JOHN WARDELL

CONTACT PERSON MIKE FEATHER

ADDRESS 701 E-I-30

ADDRESS 203 W NASH ST

SUITE 100

CITY, STATE & ZIP ROCKWALL, TX 75087

CITY, STATE & ZIP TERRELL, TX 75160

PHONE 214-707-2732

PHONE 972-391-7414

E-MAIL JOHN.WARDELL@LAKEPOINTE.CHURCH

E-MAIL MIKE.FEATHER@KIMLEY-HORN.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John P. Wardell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19TH DAY OF AUGUST, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

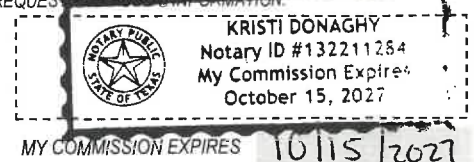
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19 DAY OF August, 2024.

OWNER'S SIGNATURE

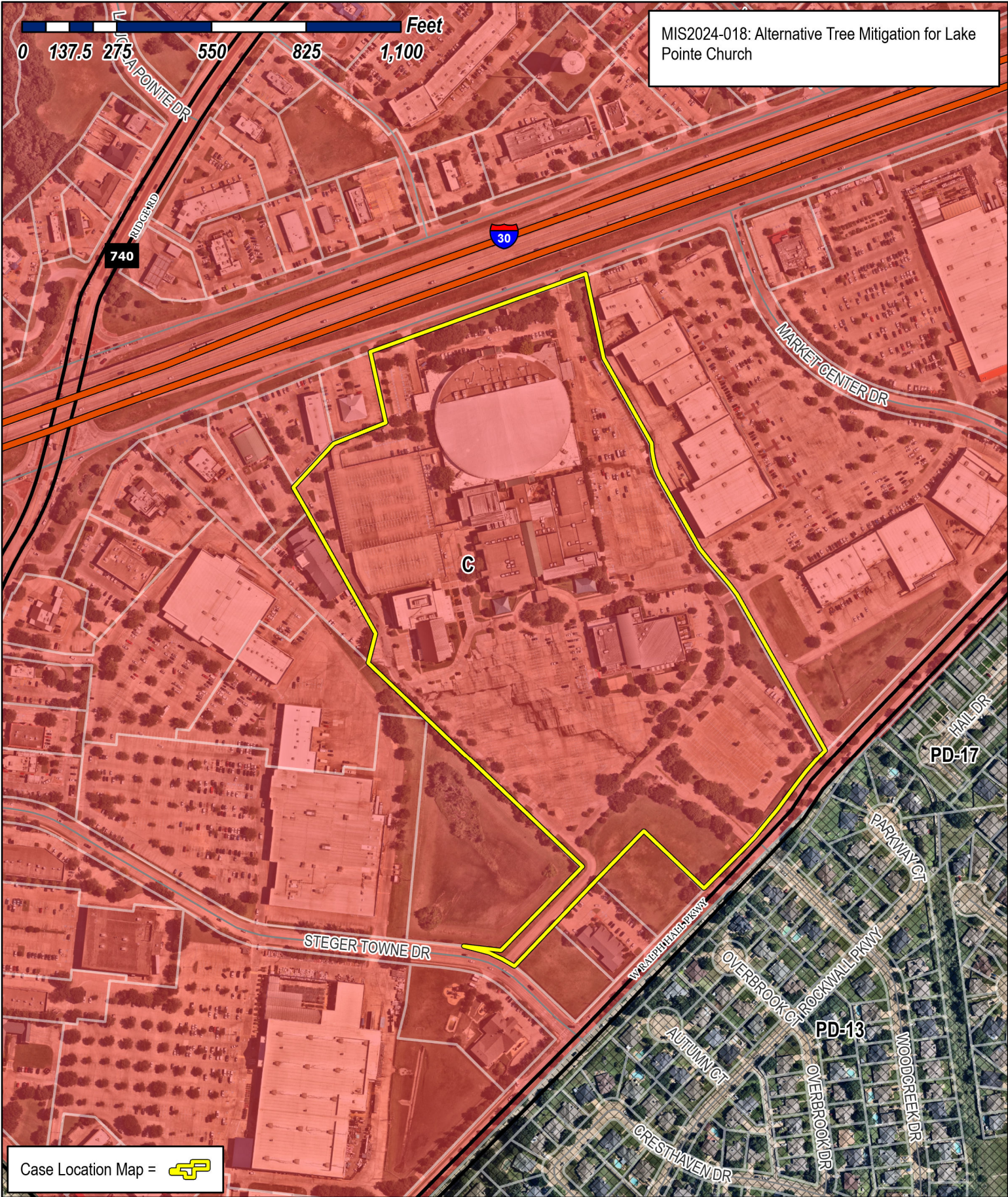
John P. Wardell

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


Kristi Donaghy



MY COMMISSION EXPIRES 10/15/2027



MIS2024-018: Alternative Tree Mitigation for Lake Pointe Church

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

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Plotted By: Von Borstel, Sara Date: August 15, 2024 02:31:46pm File Path: K:\DAL\Civil\064608805-Lakepointe Ring Road\CAD\Phase 1\Landscape\Plan Sheets\LT 1.01.dwg
 This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

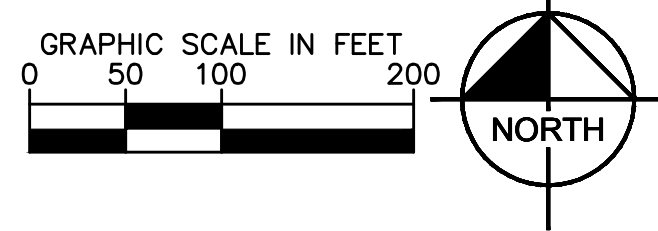
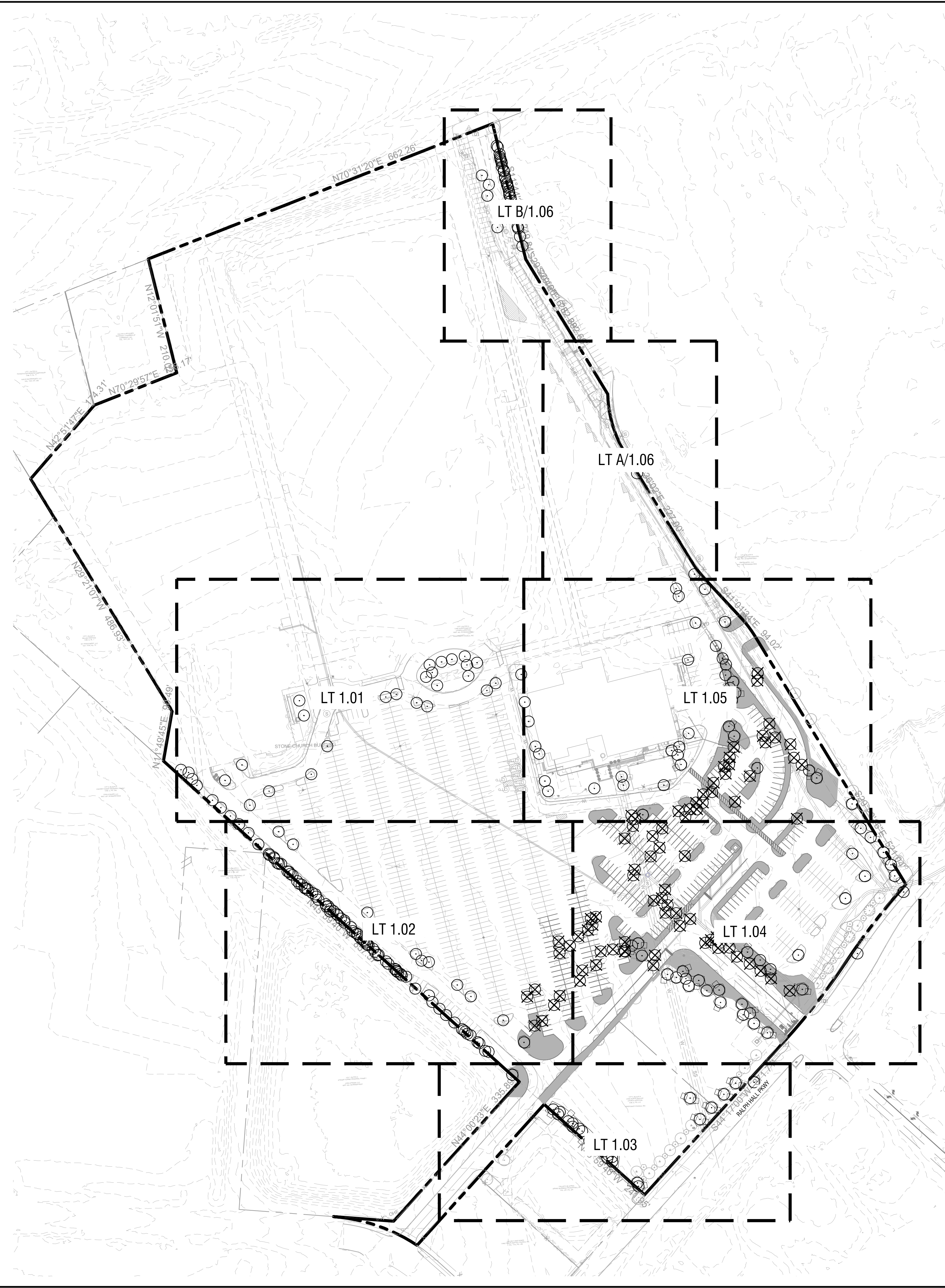
SITE PLAN SIGNATURE BLOCK:

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ____.

WITNESS OUR HANDS, this ___ day of ____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning



LANDSCAPE PLAN LAKEPOINTE CHURCH PARKING LOT EXTENSION

ADDRESS: 701 I30, TX
 OVERLAY DISTRICT: IH-30, (PT OF 34.49 AC TR)
 RCAD PROP ID: 53836
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
 LAKEPOINTE CHURCH
 701 E INTERSTATE 30
 ROCKWALL, TX 75087
 (469) 698-2200

LANDSCAPE ARCHITECT:
 KIMLEY-HORN AND ASSOCIATES, INC
 6160 WARREN PKWY, SUITE 210
 FRISCO, TX 75034
 PHONE: 972-335-3580
 CONTACT: NIK ADAMS, PLA

CAUTION!!

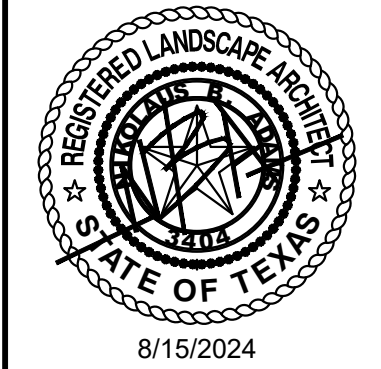
EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.



No.	REVISIONS	DATE	BY

Kimley»Horn

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 6160 WARREN PARKWAY, SUITE 210, FRISCO, TX 75034
 WWW.KIMLEY-HORN.COM
 TEXAS REGISTERED ENGINEERING FIRM F-928



KHA PROJECT	064608805
DATE	8/15/2024
SCALE	AS SHOWN
DESIGNED BY:	CLW
DRAWN BY:	CLW
CHECKED BY:	NBA




OVERALL TREESCAPE PLAN

LAKEPOINTE RING ROAD
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

SHEET NUMBER
LT 1.00

Plotted By: Von Borstel, Sara Date: August 15, 2024 02:31:51pm File Path: K:\DAL\Civil\064608805-Lakepointe Ring Road\CAD\Phase 1\Landscaping\Plan Sheets\LT 1.01.dwg
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LEGEND

-  OFF SITE TREE
-  TREE TO REMAIN
-  TREE TO BE REMOVED

GRAPHIC SCALE IN FEET
 0 10 20 40

NORTH



MATCHLINE (SEE PAGE LT 1.02)

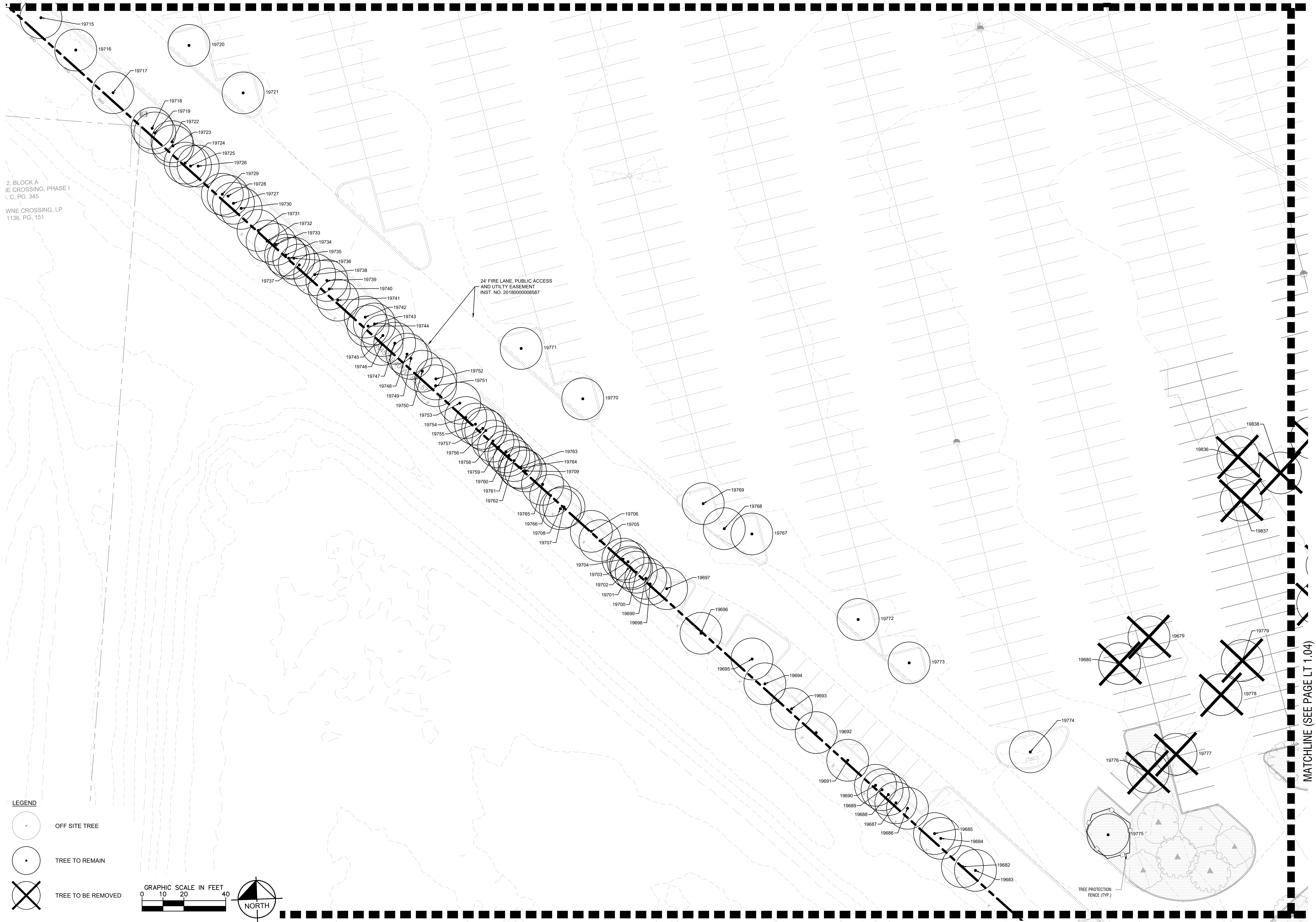
MATCHLINE (SEE PAGE LT 1.05)

<p>LAKEPOINTE RING ROAD CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS</p> <p>SHEET NUMBER LT 1.01</p>	<p>Kimley»Horn © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 6160 WARREN PARKWAY, SUITE 210, FRISCO, TX 75034 PHONE: 972-335-3660 WWW.KIMLEY-HORN.COM TEXAS REGISTERED ENGINEERING FIRM F-928</p> <p>REGISTERED LANDSCAPE ARCHITECT STATE OF TEXAS 8/15/2024</p> <p>KHA PROJECT 064608805 DATE 8/15/2024 SCALE: AS SHOWN DESIGNED BY: CLW DRAWN BY: CLW CHECKED BY: NEA</p> <p>TREESCAPE PLAN</p>												
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">REVISIONS</th> <th style="width: 50%;">DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>		REVISIONS	DATE										
REVISIONS	DATE												


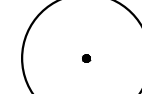

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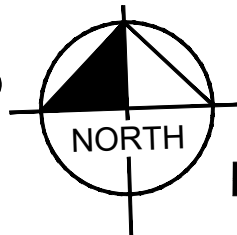
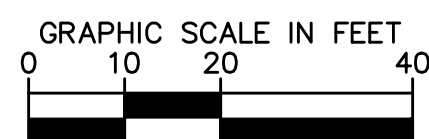
MATCHLINE (SEE PAGE LT 1.01)

MATCHLINE (SEE PAGE LT 1.05)



LEGEND

-  OFF SITE TREE
-  TREE TO REMAIN
-  TREE TO BE REMOVED



2, BLOCK A
IE CROSSING, PHASE I
I, C, PG. 345
WNE CROSSING, LP
1136, PG. 151

24' FIRE LANE, PUBLIC ACCESS
AND UTILITY EASEMENT
INST. NO. 2018000008587

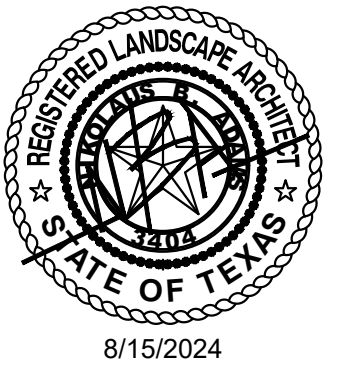
TREE PROTECTION
FENCE (TYP.)

MATCHLINE (SEE PAGE LT 1.04)

MATCHLINE (SEE PAGE LT 1.03)

No.	REVISIONS	DATE	BY

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PHONE: 972-335-3660
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM F-928

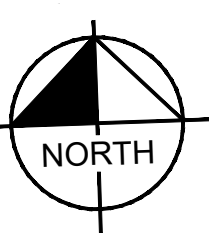
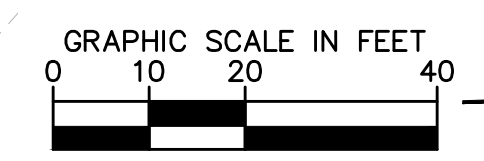
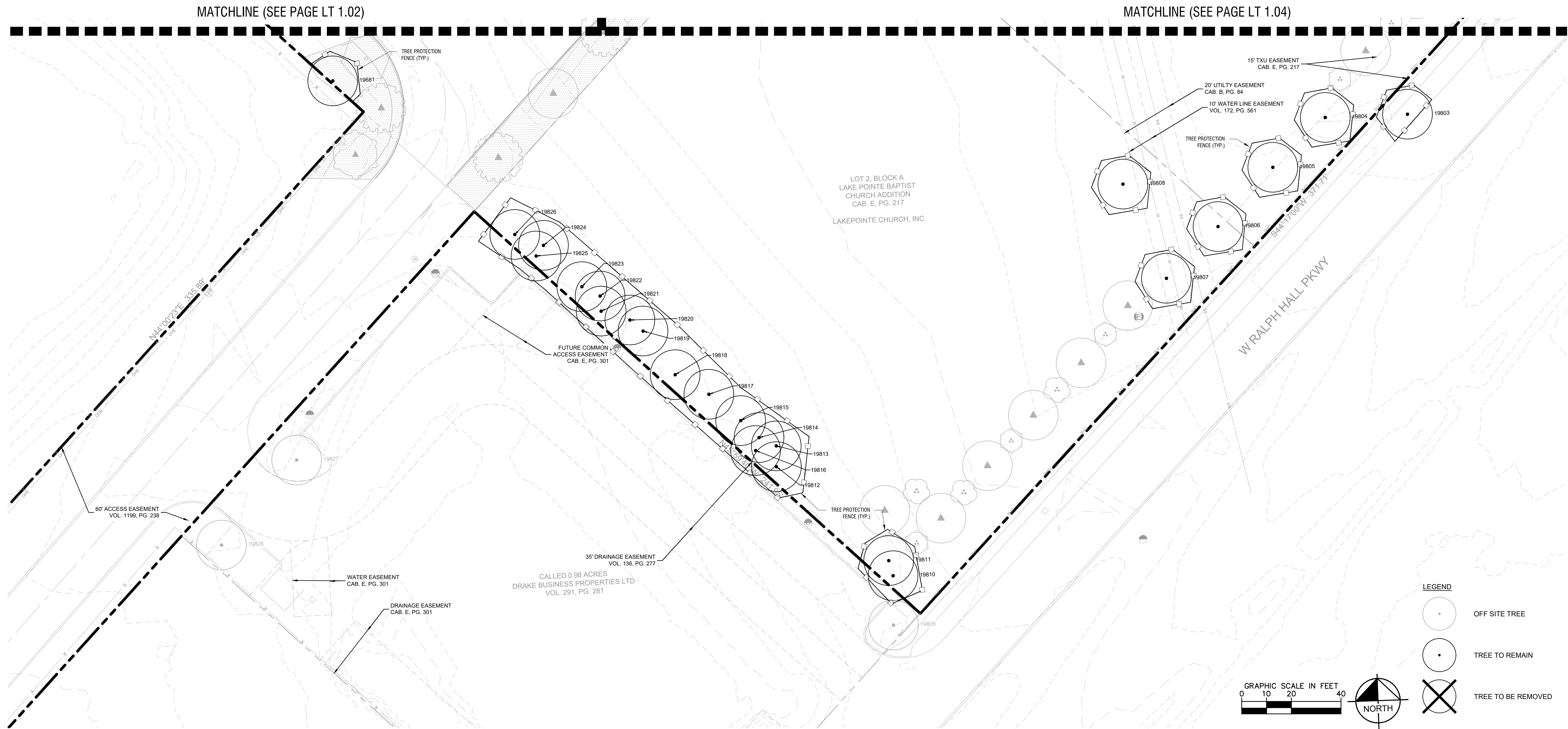


KHA PROJECT 064608805	DATE 8/15/2024
SCALE: AS SHOWN	DESIGNED BY: CLW
DRAWN BY: CLW	CHECKED BY: NEA

**LAKEPOINTE RING
ROAD**
TREESCAPE PLAN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SHEET NUMBER
LT 1.02

Plotted By: Von Borstel, Sorco Date: August 15, 2024 02:32:01pm File Path: K:\DAL\Civil\064608805-Lakepointe Ring Road\CAD\Phase 1\Landscape\Plan Sheets\LT 1.01.dwg
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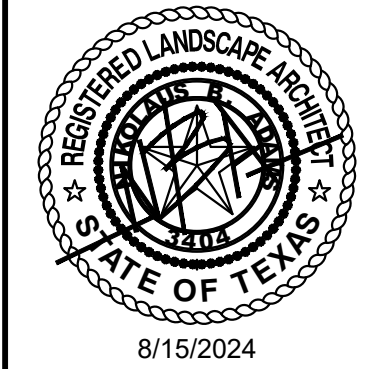


LEGEND

	OFF SITE TREE
	TREE TO REMAIN
	TREE TO BE REMOVED

No.	REVISIONS	DATE	BY

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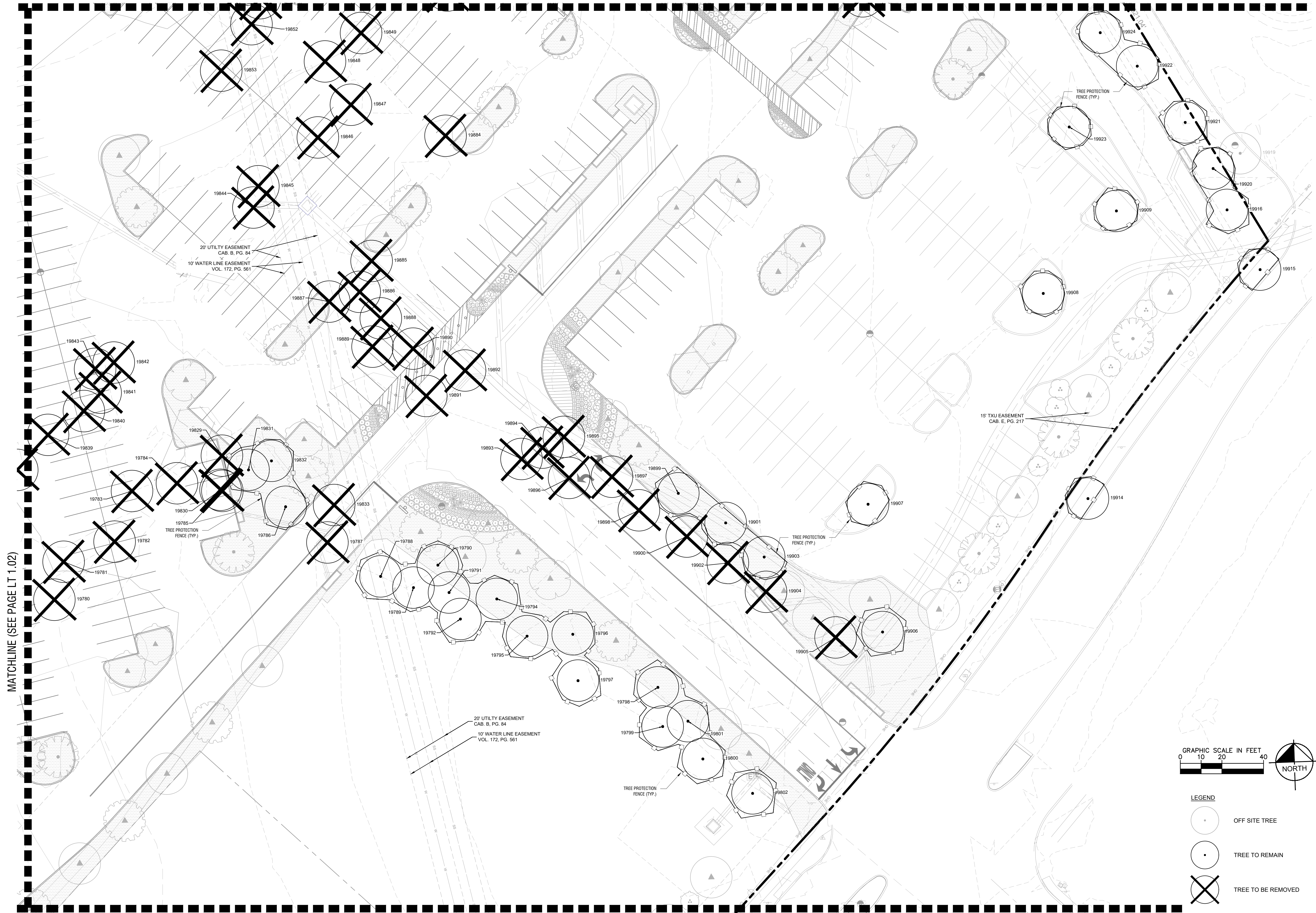
KHA PROJECT	064608805
DATE	8/15/2024
SCALE	AS SHOWN
DESIGNED BY:	CLW
DRAWN BY:	CLW
CHECKED BY:	NBA

LAKEPOINTE RING ROAD
TREESCAPE PLAN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

SHEET NUMBER
LT 1.03

Plotted By: Von Borstel, Sara Date: August 15, 2024 02:32:07pm File Path: \\DAL-Civil\064608805-Lakepointe Ring Road\CAD\Phase 1\Landscaping\Plan Sheets\LT 1.01.dwg
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MATCHLINE (SEE PAGE LT 1.05)



MATCHLINE (SEE PAGE LT 1.02)

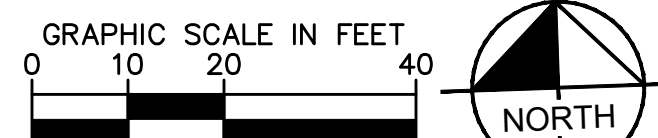
20' UTILITY EASEMENT
CAB. B, PG. 84
10' WATER LINE EASEMENT
VOL. 172, PG. 561

TREE PROTECTION
FENCE (TYP.)

20' UTILITY EASEMENT
CAB. B, PG. 84
10' WATER LINE EASEMENT
VOL. 172, PG. 561

TREE PROTECTION
FENCE (TYP.)

15' TXU EASEMENT
CAB. E, PG. 217

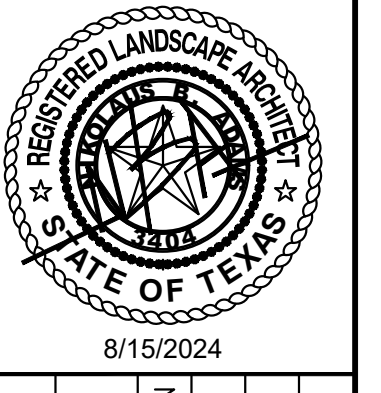


- LEGEND
- OFF SITE TREE
 - TREE TO REMAIN
 - TREE TO BE REMOVED

MATCHLINE (SEE PAGE LT 1.03)

NO.	REVISIONS	DATE	BY

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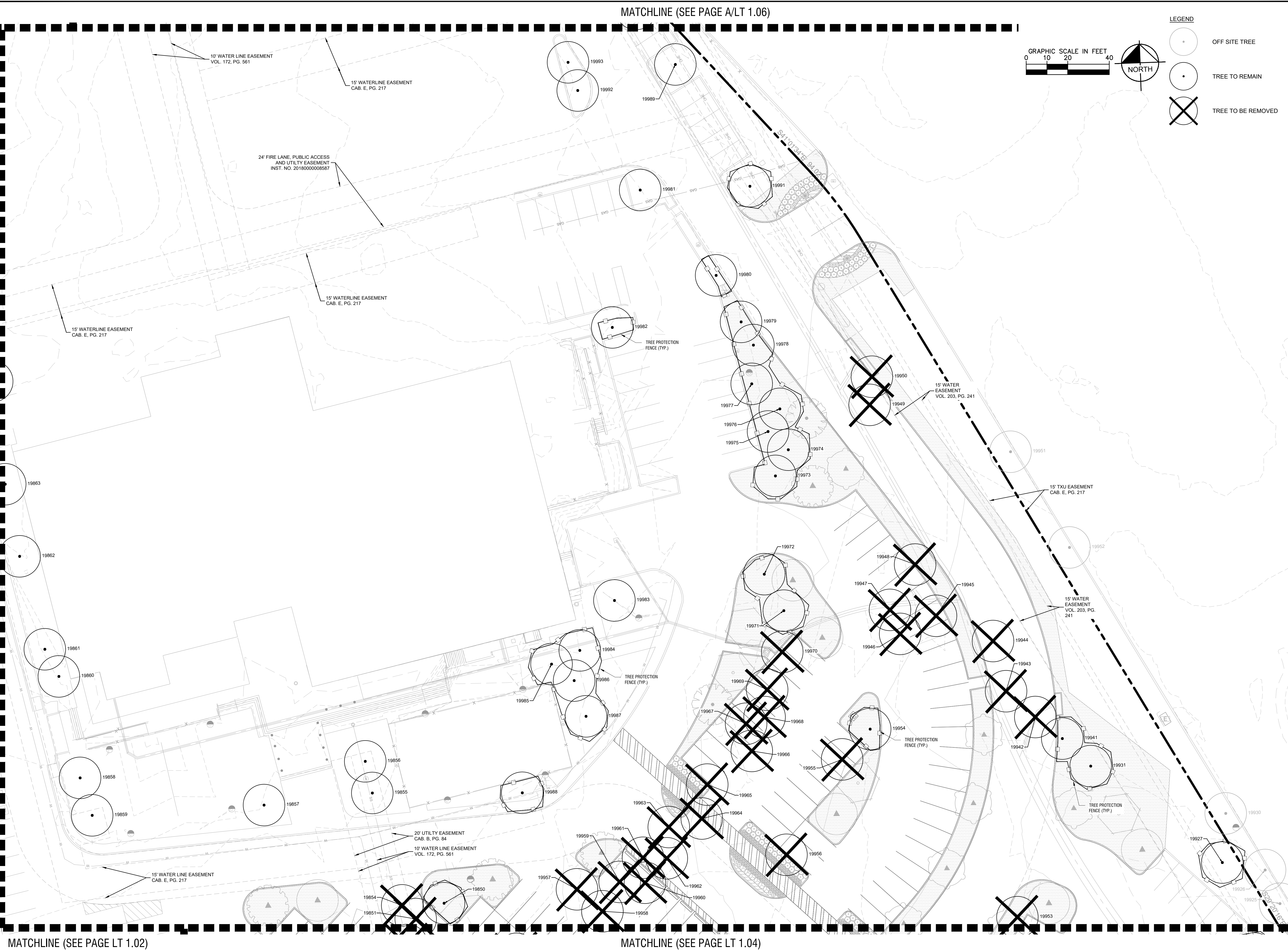
KHA PROJECT 064608805	DATE 8/15/2024
SCALE: AS SHOWN	DESIGNED BY: CLW
DRAWN BY: CLW	CHECKED BY: NEA

LAKEPONTE RING ROAD
 TREESCAPE PLAN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

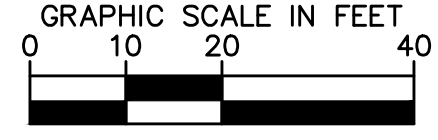
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LT 1.04

Plotted By: Von Borstel, Soro Date: August 15, 2024 02:32:12pm File Path: K:\DAL\Civil\064608805-Lakepointe Ring Road\CAD\Phase 1\Landscape\Plan Sheets\LT 1.01.dwg
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MATCHLINE (SEE PAGE LT 1.01)



MATCHLINE (SEE PAGE A/LT 1.06)

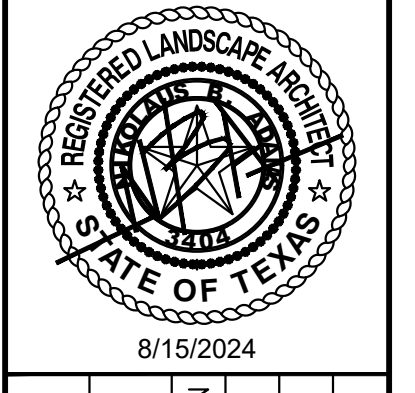


LEGEND

	OFF SITE TREE
	TREE TO REMAIN
	TREE TO BE REMOVED

REVISIONS		DATE	BY
No.			

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KHA PROJECT	064608805
DATE	8/15/2024
SCALE	AS SHOWN
DESIGNED BY	CLW
DRAWN BY	CLW
CHECKED BY	NBA

TREESCAPE PLAN

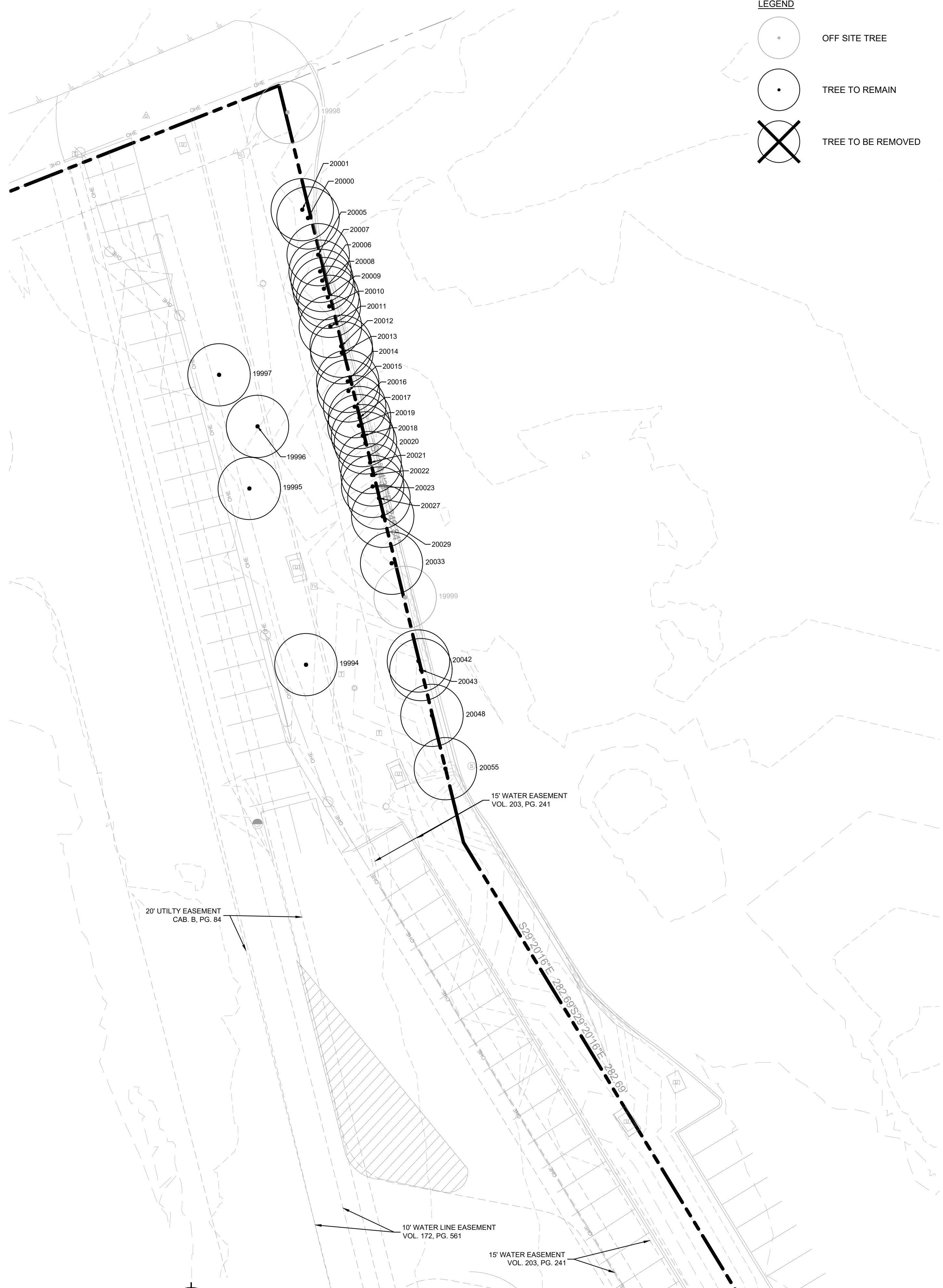
LAKEPOINTE RING ROAD
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

SHEET NUMBER
LT 1.05

MATCHLINE (SEE PAGE LT 1.02)

MATCHLINE (SEE PAGE LT 1.04)

Plotted By: Von Borstel, Sara Date: August 15, 2024 02:32:16pm File Path: K:\DAL\Civil\064608805-Lakepointe Ring Road\CAD\Phase 1\Landscape\Plan Sheets\LT 1.01.dwg
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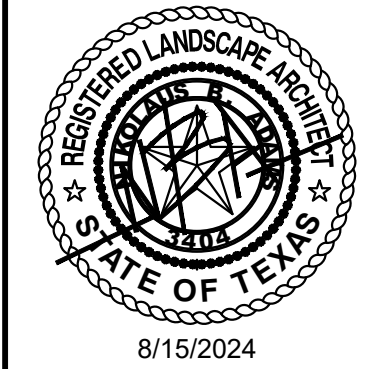
GRAPHIC SCALE IN FEET
 0 10 20 40
 NORTH
 MATCHLINE (SEE PAGE A/LT 1.06)
TREESCAPE PLAN
 Scale: 1:20



GRAPHIC SCALE IN FEET
 0 10 20 40
 NORTH
 MATCHLINE (SEE PAGE LT 1.05)
TREESCAPE PLAN
 Scale: 1:20

No.	REVISIONS	DATE	BY

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DATE	8/15/2024
SCALE	AS SHOWN
DESIGNED BY:	CLW
DRAWN BY:	CLW
CHECKED BY:	NEA

TREESCAPE PLAN

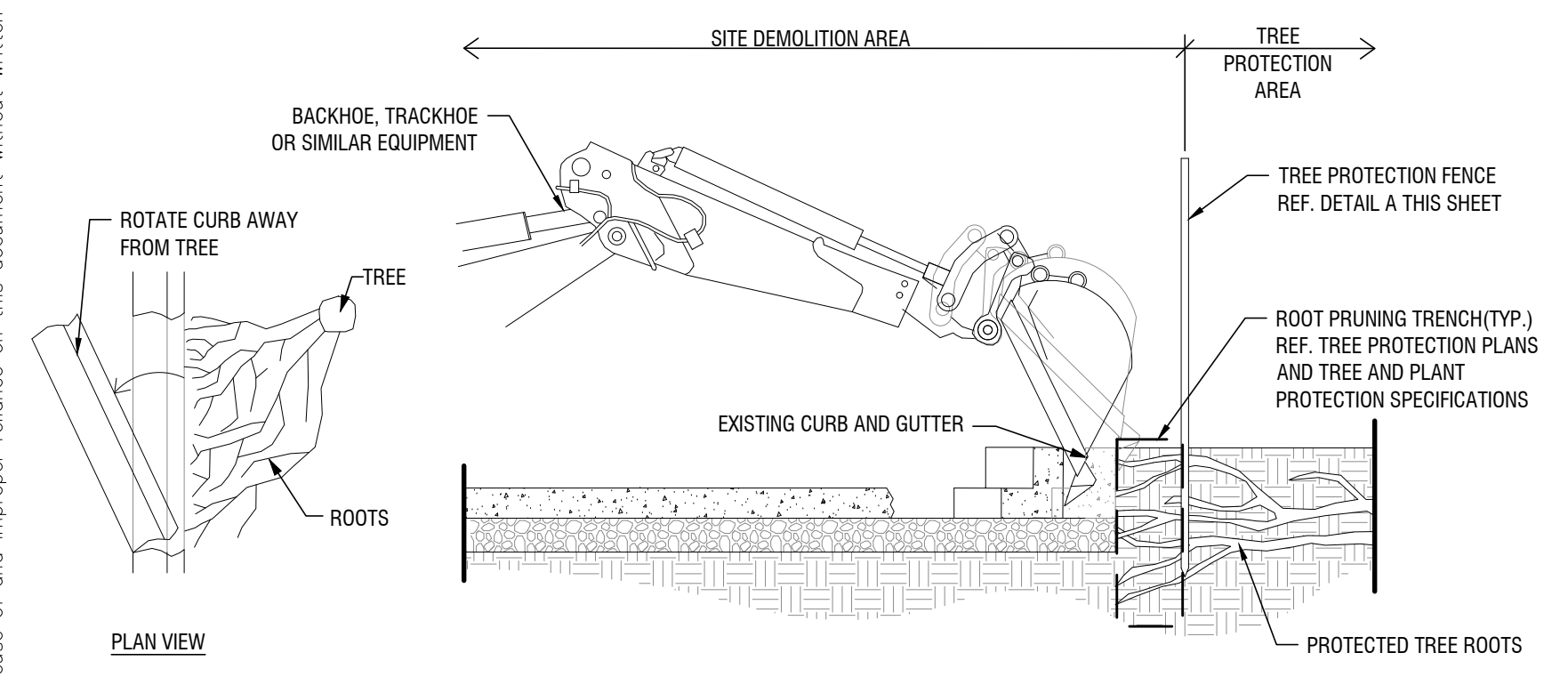
LAKEPOINTE RING ROAD
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

SHEET NUMBER
LT 1.06

Plotted By: Von Borstel, Sara Date: August 15, 2024 02:32:33pm File Path: \\DAL-Civil\064608805-Lakepointe Ring Road\CAD\Phase 1\Landscape\Plan Sheets\LT 3.01.dwg
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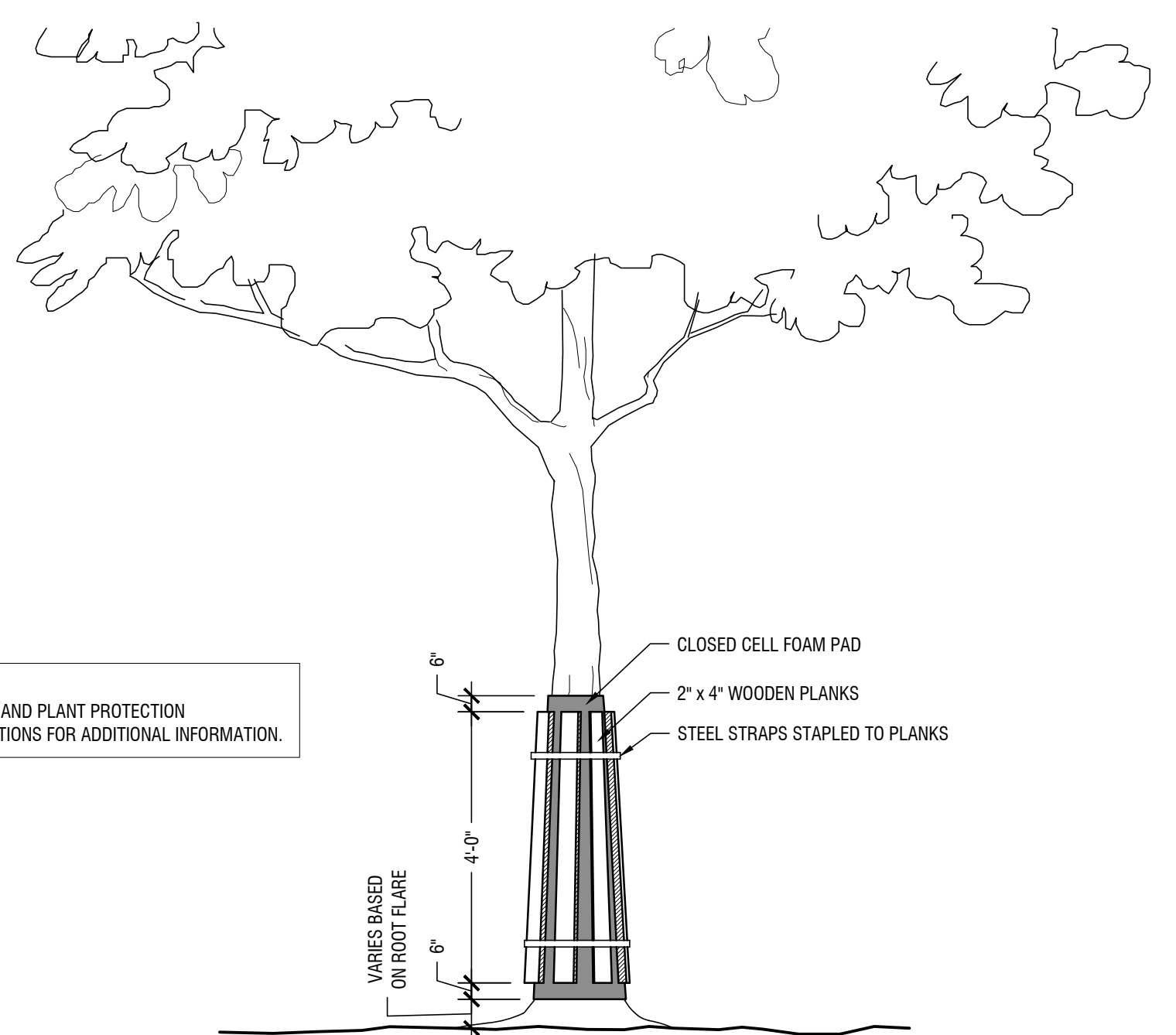
- DEMOLITION SEQUENCE:**
1. PERFORM ANY ROOT PRUNING.
 2. INSTALL TREE PROTECTION FENCING.
 3. BREAK OR CUT 6" SECTIONS OF CURB.
 4. CAREFULLY ROTATE CURB SECTIONS AWAY FROM ROOTS.
 5. COORDINATE ALL DEMOLITION OPERATIONS AROUND PROTECTED TREES WITH ENGINEER AND PROJECT ARBORIST.

- NOTES:**
1. PRIOR TO DEMOLITION ACTIVITIES, COORDINATE WITH OWNER'S REPRESENTATIVE.
 2. ALL TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION ACTIVITIES.
 3. OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR DEMOLITION ACTIVITIES PRIOR TO CONSTRUCTION.



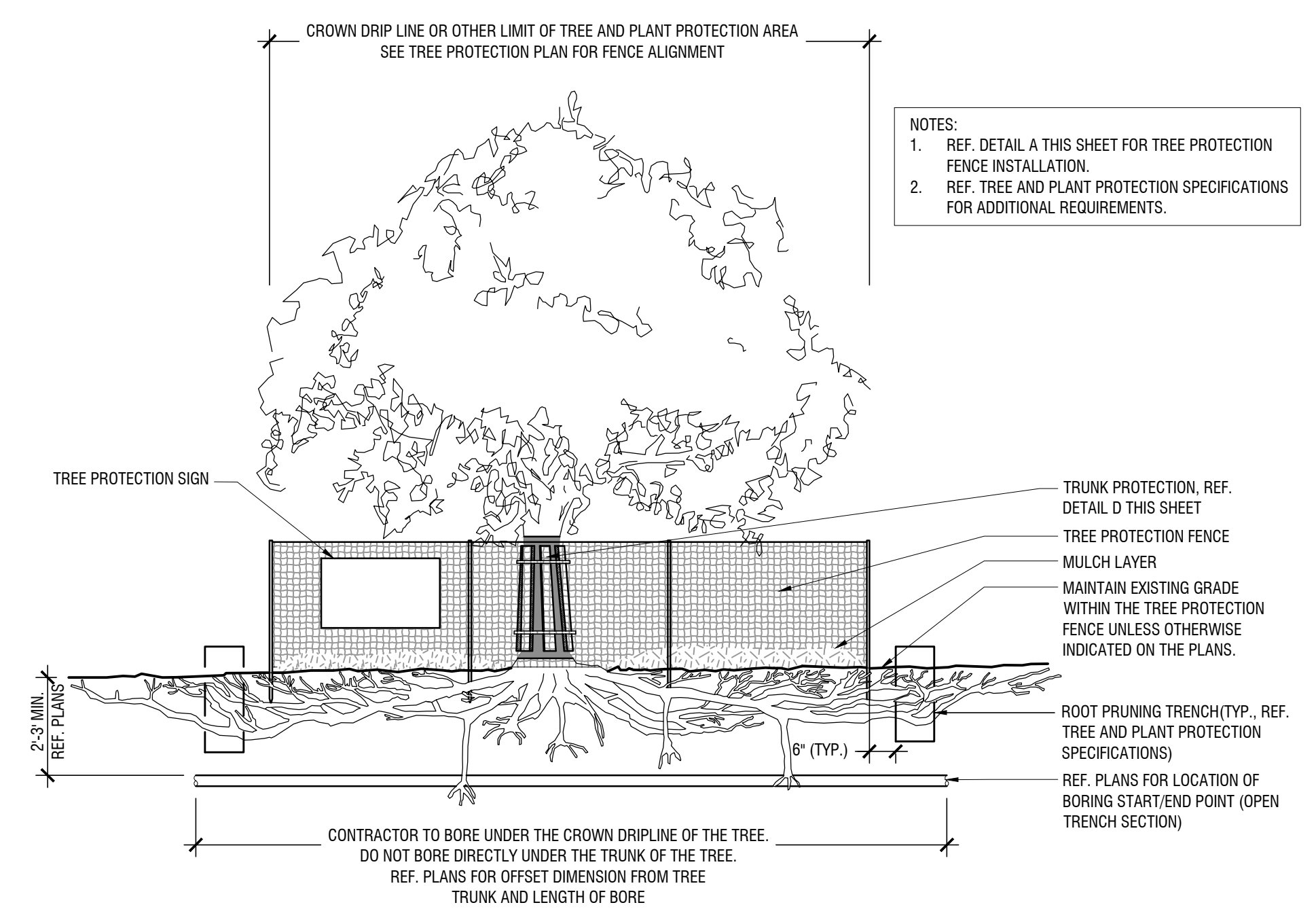
CURB DEMOLITION AROUND EXISTING TREE ROOTS
Scale: NTS

- NOTES:**
1. REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL INFORMATION.

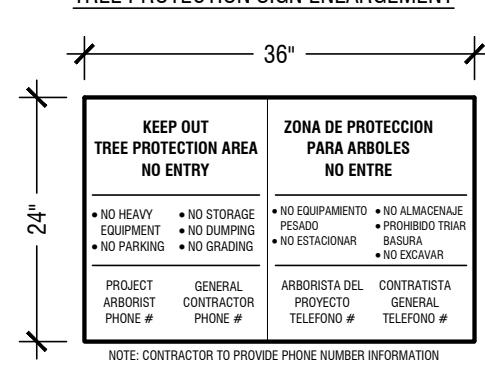


TRUNK PROTECTION
Scale: NTS

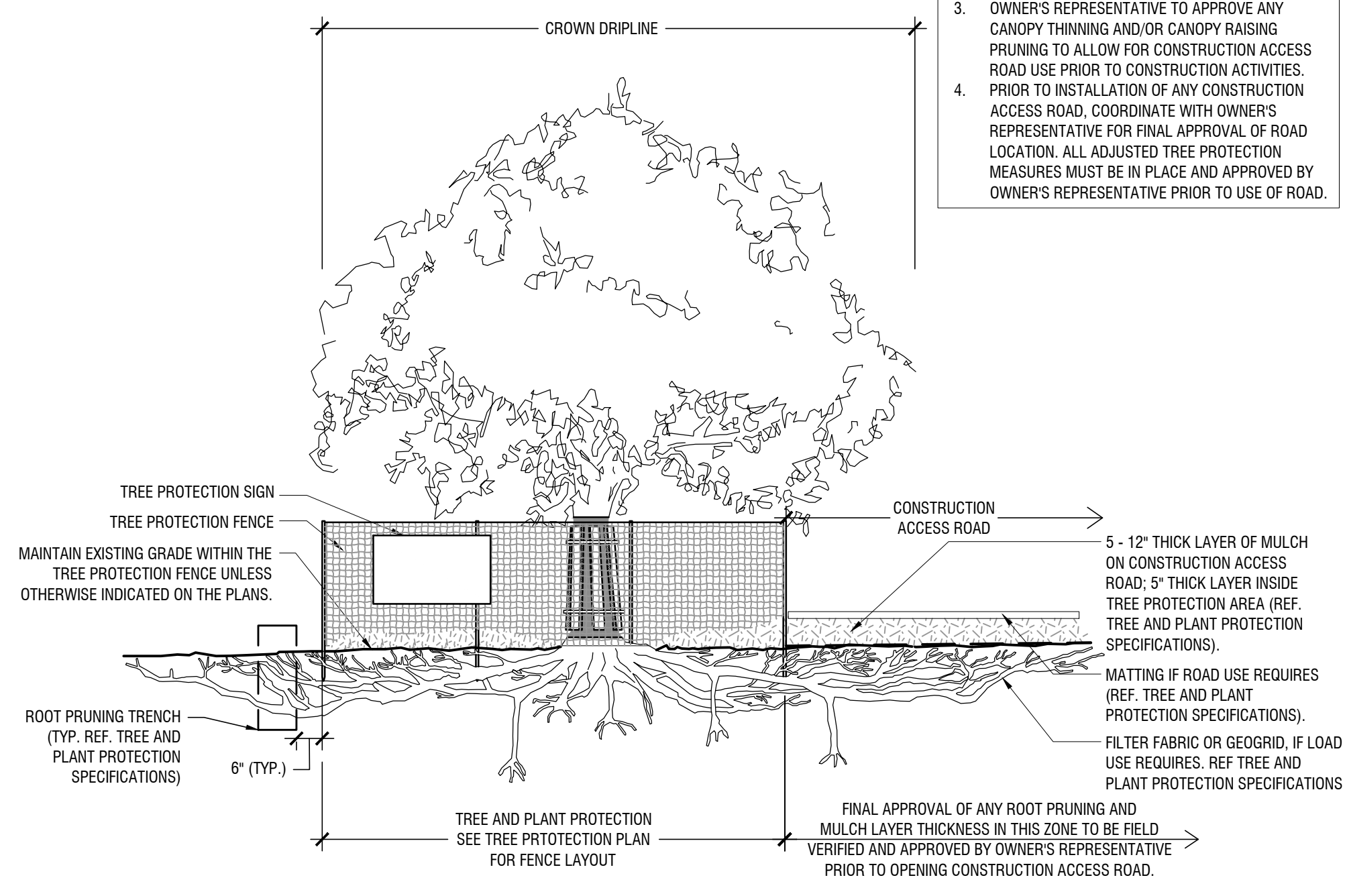
- NOTES:**
1. REF. DETAIL A THIS SHEET FOR TREE PROTECTION FENCE INSTALLATION.
 2. REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



TREE PROTECTION - UTILITY BORING UNDER CROWN DRIP LINE
Scale: NTS

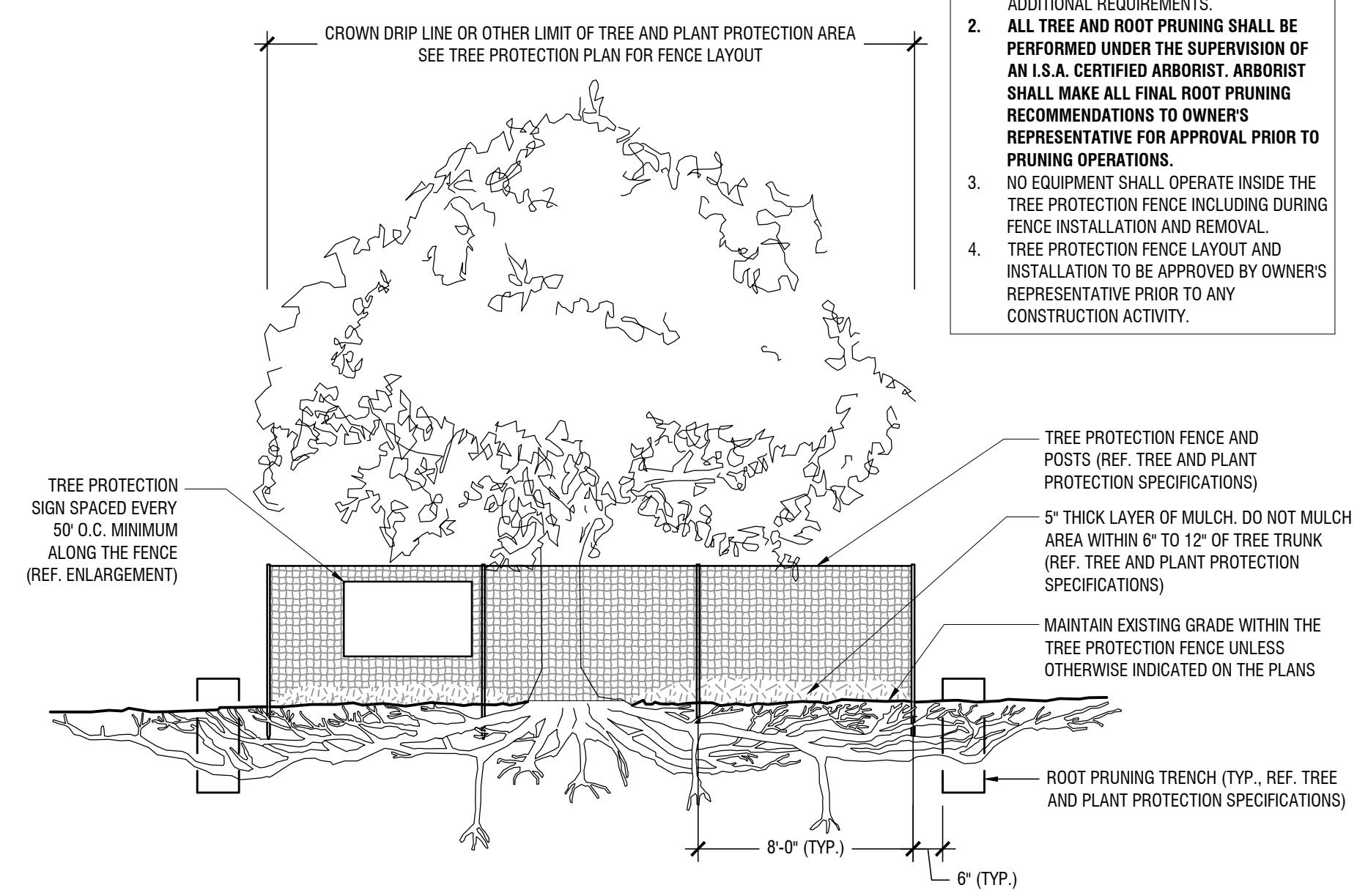


- NOTES:**
1. REF. DETAIL A THIS SHEET FOR TREE PROTECTION FENCE INSTALLATION.
 2. REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 3. OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR CONSTRUCTION ACCESS ROAD USE PRIOR TO CONSTRUCTION ACTIVITIES.
 4. PRIOR TO INSTALLATION OF ANY CONSTRUCTION ACCESS ROAD, COORDINATE WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL OF ROAD LOCATION. ALL ADJUSTED TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO USE OF ROAD.



TREE PROTECTION - CONSTRUCTION ACCESS ROAD
Scale: NTS

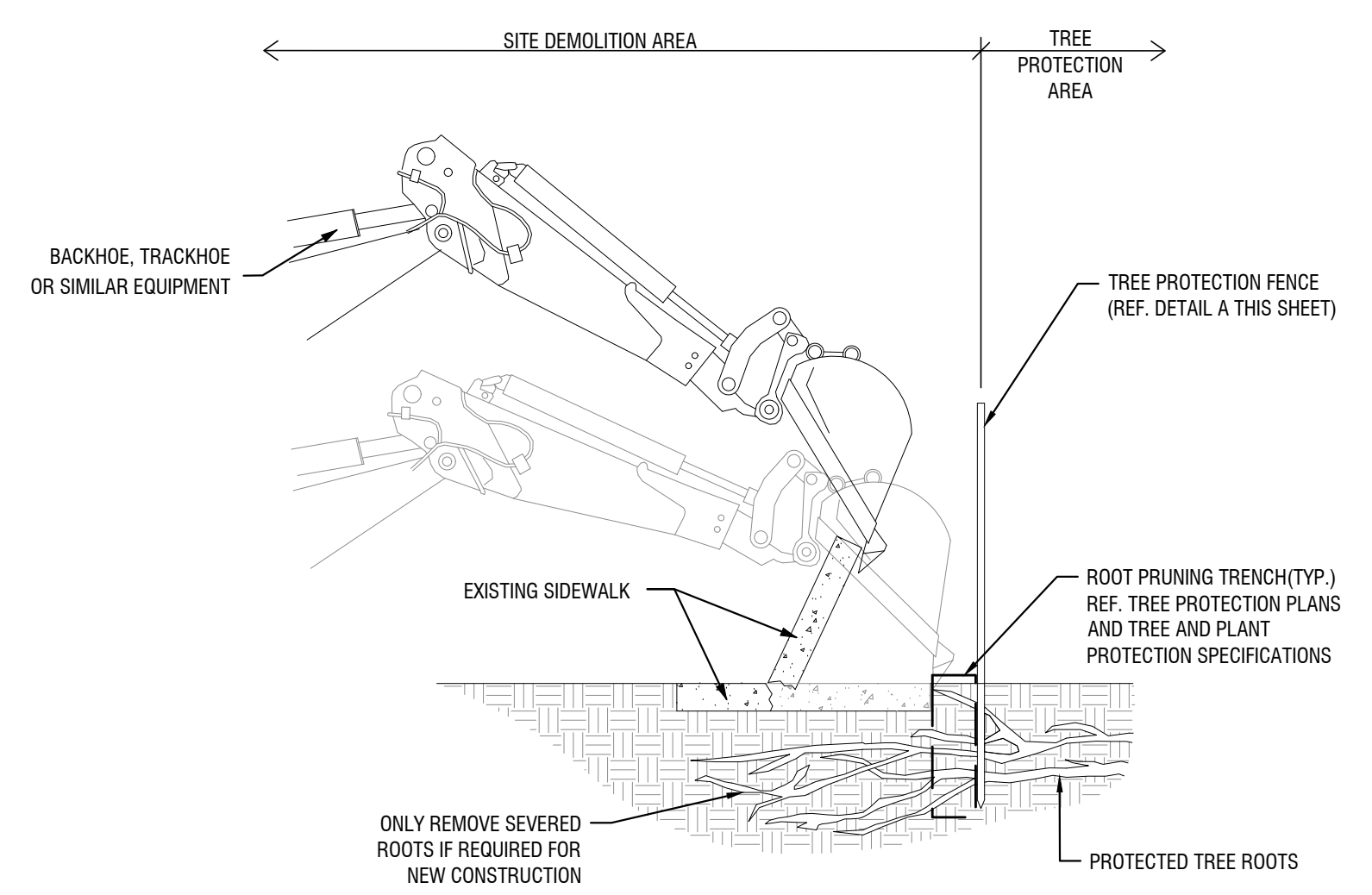
- NOTES:**
1. SEE TREE AND PLANT PROTECTION SPECIFICATIONS FOR WATERING AND OTHER ADDITIONAL REQUIREMENTS.
 2. ALL TREE AND ROOT PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN I.S.A. CERTIFIED ARBORIST. ARBORIST SHALL MAKE ALL FINAL ROOT PRUNING RECOMMENDATIONS TO OWNERS REPRESENTATIVE FOR APPROVAL PRIOR TO PRUNING OPERATIONS.
 3. NO EQUIPMENT SHALL OPERATE INSIDE THE TREE PROTECTION FENCE INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 4. TREE PROTECTION FENCE LAYOUT AND INSTALLATION TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO ANY CONSTRUCTION ACTIVITY.



TYPICAL TREE PROTECTION FENCING
Scale: NTS

- DEMOLITION SEQUENCE**
1. PERFORM ANY ROOT PRUNING.
 2. INSTALL TREE PROTECTION FENCING.
 3. CAREFULLY REMOVE SIDEWALK AND BASE MATERIAL. COORDINATE ALL DEMOLITION OPERATIONS AROUND PROTECTED TREES WITH ENGINEER AND PROJECT ARBORIST.

- NOTES:**
1. PRIOR TO DEMOLITION ACTIVITIES, COORDINATE WITH OWNER'S REPRESENTATIVE.
 2. ALL TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION ACTIVITIES.
 3. OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR DEMOLITION ACTIVITIES PRIOR TO CONSTRUCTION.



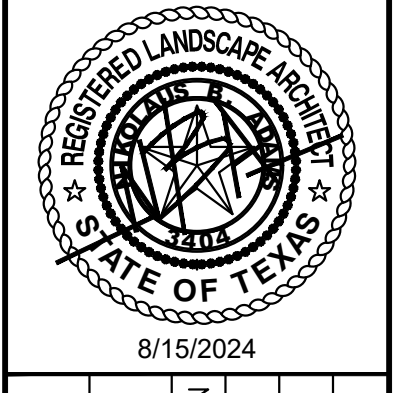
SIDEWALK DEMOLITION AROUND EXISTING TREE ROOTS
Scale: NTS

No.	REVISIONS	DATE	BY

Kimley»Horn

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PHONE: 972-335-3680
WWW.KIMLEY-HORN.COM

TEXAS REGISTERED ENGINEERING FIRM F-928



KHA PROJECT	064608805
DATE	8/15/2024
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DESIGNED BY:	CLW
DRAWN BY:	CLW
CHECKED BY:	NBA

TREESCAPES DETAILS

LAKEPOINTE RING ROAD
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS



LAKEPOINTE CHURCH

City of Rockwall Planning & Zoning Department
385 South Goliad
Rockwall, TX 75087

Lakepointe Church is located at 701 East Interstate-30, Rockwall, Texas 75087. The Church is permitting proposed civil and landscape construction documents for on-site paving improvements. The project is intended to improve the circulation within the church campus. We refer to the project as the "Ring Road Project". In addition, a pre-application with City Staff has been completed for a planned "Parking Garage and Plaza Improvements Project" which will follow the Ring Road Project. The existing church campus' tree plantings currently exceed the required number of tree inches by a wide margin. As a result of the Ring Road Project, 980 tree mitigation inches will be removed. The church is replanting 385 mitigation inches, and with 154 total credits, there is an outstanding balance of 441 mitigation inches. Options discussed with staff at the pre-application meeting included replanting, paying fees to the City, or the possibility of planting additional trees with the future Parking Garage and Plaza Improvements Project.

The church is requesting the balance of 441 tree inches due for the Ring Road Project be delayed and be planted (or combination of fee to be paid) with the future Parking Garage and Plaza Improvements project. If the future Parking Garage and Plaza Improvements project has not completed a treescape submittal showing how the project will mitigate for the required plantings by December 31, 2025, the balance of remaining mitigation fees will become due to the City of Rockwall. This will allow flexibility for the church to develop their plans for the plaza and garage project after the completion of the Ring Road Project improvements.

John Wardell

Executive Director Real Estate and Construction

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/22/2024

PROJECT NUMBER: Z2024-035
PROJECT NAME: Zoning Change from C to PD for Rockwall Heights
SITE ADDRESS/LOCATIONS:
CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	08/22/2024	Approved w/ Comments

08/22/2024: Z2024-035; Zoning Change (C to PD) for Rockwall Heights
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Zoning Change from a Commercial (C) District to a Planned Development District for Commercial (C) District land uses on a 67.475-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, and generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.

M.3 For reference, include the case number (Z2024-035) in the lower right-hand corner of all pages on future submittals.

I.4 Future Land Use Plan. According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the IH-30 Corridor District and is designated for Special Commercial Corridor land uses, which are defined as land uses that are intended serve the entire region. The proposed developments conformance with the Special Commercial Corridor will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

I.5 IH-30 Corridor District. The following are the applicable District Strategies for the IH-30 Corridor District and how the proposed concept plan conforms to these strategies:

(1) Regional Center. Regional Centers should follow one of the four (4) models identified in the IH-30 Corridor Plan (i.e. Strip Retail Center, Mixed Use Center, Town Center, or Regional Designation Center models).

(2) Open Space. Large commercial centers should incorporate green space or open space at the center of the development that can be used to provide amenity or break up large parking fields.

Staff Response: Staff has detailed conformance with the IH-30 Corridor Plan below in Comment I.8. With regard to open space, the proposed development does not appear to provide any useable open space. Staff would recommend that a central open space connecting the land uses with trails and amenities be incorporated. This would also better

compliment the proposed housing units northwest of the proposed retail/entertainment land uses.

I.6 Residential Goals and Policies. According to the Residential Goals and Policies contained in the OURHometown Vision 2040 Comprehensive Plan the following is applicable to this zoning request:

(1) CH. 08; Section 2.05; Goal #1 | Policy #1 (Page 8-4). Condominium and apartment developments should be located adjacent to, and/or incorporated in, commercial developments to form activity centers (e.g. the Harbor District). In addition, these developments should conform to the commercial design standards (e.g. articulation, materials, etc.) to create continuity with adjacent commercial buildings. The Architectural Review Board (ARB) should be responsible for reviewing these developments to ensure compatibility with surrounding developments.

Staff's Response: The proposed Concept Plan shows that the Multi-Family Developments will be adjacent to the proposed commercial developments in Subdistricts A & B; however, these buildings do not appear to conform to all of the commercial design standards (see conformance to the Unified Development Code [UDC] requirements in Comments I.11 & I12). Based on this, staff cannot say that the proposed development completely conforms to this requirement, and this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

(2) CH. 08; Section 2.05; Goal #2 | Policy #1 (Page 8-4). High-density condominium and apartment projects should be established in areas that can support a mix of land uses (e.g. hotel, office, retail, commercial, etc.) and have roadways that can accommodate higher volumes of traffic (e.g. IH-30). These areas are typically located away from existing single-family residential neighborhoods, east of John King Boulevard and are adjacent to commercial and office land uses.

Staff's Response: The proposed subject property appears to CONFORM to this policy.

(3) CH. 08; Section 2.05; Goal #3 | Policy #1 (Page 8-4). High-density developments that incorporate more than ten (10) units per gross acre should incorporate structured parking that is visually screened from public view on all sides of the development. This can be achieved by wrapping the parking garage with buildings or creating false façades. Surface parking should be reserved to accommodate visitors, office staff, and prospective residents.

Staff's Response: In this case, only one (1) of the two (2) Multi-Family Developments is incorporating a structured parking garage. In addition, the submitted Building Elevations show that the building that is incorporating the structured parking garage will have one (1) side of the garage that will be visible to adjacent properties and Justin Road/IH-30. Based on this, this request does NOT appear to conform to this policy. To bring this closer into compliance for the Multi-Family Development that does incorporate the structured parking garage, the applicant should look to design the building to better hide the structured parking garage (e.g. better building design, a more complete wrap, green screens, etc.).

(4) CH. 08; Section 2.05; Goal #4 | Policy #1 (Page 8-4). If structured parking is not provided on a high-density development, garages dedicated to each unit should be provided.

Staff's Response: The proposed Multi-Family Development -- that does not incorporate the structure parking garage -- does incorporate garages that are dedicated to a portion of the units; however, these do not appear to be required through the Planned Development District ordinance, and do not appear to be a dedicated garage for each unit. Therefore, the proposed plan does NOT appear to conform to this policy. Staff would recommend that the percentage of garages to units be tied down in the Planned Development District ordinance.

(5) CH. 08; Section 2.05; Goal #5 | Policy #1 (Page 8-4). High-density developments should be highly amenitized and incorporate a mix of lifestyle amenities that can justify the density of the development, and provide these residents with similar levels of amenities that are provided in a master planned community.

Staff's Response: Based on the current submittal, staff cannot verify conformance with this requirement. Please provide a list of amenities that will be provided for each Multi-Family Development.

(6) CH. 08; Section 2.05; Goal #6 | Policy #1 (Page 8-4). Additional landscaping and canopy trees in landscape buffers and open space areas should be required to reduce the scale of buildings, and increase the amount of green space provided for residents.

Staff's Response: The current development appears to be lacking open space and should provide larger landscape buffers adjacent to Justin Road and additional landscaping to

help reduce the scale of the buildings. In addition, additional open space should be incorporated into the overall development that better ties the land uses together, and provides functional and passive recreation areas.

(7) CH. 08; Section 2.05; Goal #7 | Policy #1 (Page 8-4). Higher-density projects should incorporate trail systems targeted at creating walkability and connectivity between land uses.

Staff's Response: The proposed Multi-Family Developments shown on the concept plan incorporate sidewalks that connect these projects to the adjacent commercial developments. Based on this, the proposed project appears to CONFORM to this policy.

I.7 Commercial Goals and Policies. According to the Commercial Goals and Policies contained in the OURHometown Vision 2040 Comprehensive Plan the following is applicable to this zoning request:

(1) CH. 09; Section 02; Goal #1 | Policy #4 (Page 9-1). Commercial, retail, and office developments should look to create central greenspaces that are well landscaped and functional promoting increased social interaction. Central greenspaces should be connected from all points of the development, and ultimately provide connection to the City's greater trail system.

Staff's Response: The proposed plan does not incorporate functional green spaces or a central greenspace that connects the retail areas to the residential developments. This should be incorporated to better conform to the Comprehensive Plan.

(2) CH. 09; Section 02; Goal #1 | Policy #5 (Page 9-1). The City should be proactive in pursuing regional developments at key intersections. This is especially important within the IH-30 corridor.

Staff's Response: The proposed plan appears to be in conformance with this requirement.

(3) CH. 09; Section 02; Goal #1 | Policy #6 (Page 9-1). Developments should incorporate pedestrian elements (i.e. benches, trash receptacles, etc.) at regular intervals to ensure that developments are created to a pedestrian scale.

Staff's Response: Currently, the Planned Development District ordinance does not incorporate these elements into the proposed development. This should be incorporated to be better in conformance with the Comprehensive Plan.

(4) CH. 09; Section 02; Goal #2 | Policy #3 (Page 9-2). Shopping centers and big-box retail buildings should incorporate planters, ornamental pots, and landscape beds adjacent to building façades that are visible from streets and open space.

Staff's Response: Currently, the Planned Development District ordinance does not incorporate these elements into the proposed development. This should be incorporated to be better in conformance with the Comprehensive Plan.

(5) CH. 09; Section 02; Goal #3 | Policy #5 (Page 9-2). Big-Box buildings should be highly articulated both horizontally and vertically, and use material/style breaks to give the appearance of multiple storefronts.

Staff's Response: The proposed Big-Box building in Subdistrict A does not meet these requirements; however, these requirements appear to conflict with the corporate branding of the proposed end user. This will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

(6) CH. 09; Section 02; Goal #4 | Policy #1 (Page 9-2). Non-residential buildings should be constructed of masonry materials and contain a minimum of 20% stone on every façade that faces a street, public open space, trail or park.

Staff's Response: With the exception of Subdistrict A, the overall development appears to be in conformance with this policy.

(7) CH. 09; Section 02; Goal #4 | Policy #2 (Page 9-2). Non-residential buildings should be architecturally finished on all four (4) sides with the same materials, detailing and

features.

Staff's Response: The building proposed for Subdistrict A, C, & D do not appear to meet these requirements. At a minimum the design of the buildings in Subdistricts C & D could be reconfigured to meet this requirement. Subdistrict B -- as laid out on the Concept Plan -- also appears that it will not meet this requirement. Specifically, adjacent to Justin Road. To mitigate this issue in this subdistrict and help the plan better conform, the retail buildings can be designed to provide a dual front entry for the buildings backing to Justin Road.

(8) CH. 09; Section 02; Goal #5. Maintain sign standards for the City that will reduce the potential for visual clutter, while providing clear business identification.

Staff's Response: The sign requirements (especially in Subdistrict A) as proposed in the provided design standards do not conform to the City's sign code. Staff has made recommendations in the proposed mark-ups and Planned Development District ordinance that can help this request better comply with the intent of this policy.

(9) CH. 09; Section 02; Goal #6 | Policy #1 (Page 9-2). All garbage storage/dumpster enclosures and delivery areas should be screened from public view (i.e. streets, open spaces, drive isles, etc.) and adjacent properties, and be generally situated behind the building to reduce the visual impact.

Staff's Response: The Concept Plan shows that the rear loading docks of the buildings in Subdistrict B will face onto Justin Road, which will be a major east/west collector roadway in the future. Increased landscaping, wingwalls, and other forms of screening should be incorporated into the request to help mitigate these issues. In addition, the buildings can be better designed to provide a "Dual Front" to help meet the four (4) sided architectural issues and decrease the visibility issues.

I.8 IH-30 Corridor Planning Study. According to the IH-30 Corridor Planning Study, the proposed development is characteristic of a Strip Retail Center Model. The plan defines the area that the subject property is in as Corridor Zone 4, and designates it as an Opportunity Zone. An Opportunity Zone is defined as "...a segment of the existing corridor with vacant or strategically placed underutilized land that could be developed or redeveloped with the highest and best use for the corridor." The public meetings for the Planning Study designated this area for a Town Center Model or a Regional Destination Center Model. The applicant's plan does NOT appear to be in compliance with this designation; however, this is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

Another aspect of the IH-30 Corridor Planning Study is the incorporation of strategic elements along the corridor. One (1) of the elements designated for the subject property is an entry portal, which is defined as "...an essential element to creating a sense of place and distinguishing a City's boundaries." This element is designated in the southeast corner of the subject property, adjacent to IH-30, in what the applicant has designated as Subdistrict B. Staff would recommend that the applicant provide land and a design for the entry portal that could be developed with the construction of Subdistrict B. This has been included as recommendation for this case.

I.9 Master Thoroughfare Plan. The proposed plan does appear to conform to the Master Thoroughfare Plan (MTP) contained in the OURHometown Vision 2040 Comprehensive Plan.

I.10 Master Trail Plan. The proposed plan does appear to conform to the Master Trail Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

M.11 In addition to the above, staff is recommending the following:

- (1) Provide an Eastern Entry Portal in the southeast corner of Subdistrict B in accordance with plan for the IH-30 Corridor District.
- (2) Conformance with the markup provided by staff to the applicant's development standards.
- (3) Requirements stipulating that the ground floor units in Subdistrict D have direct access to the street should be incorporated into the Planned Development District.
- (4) A functional central open space should be incorporated connecting the proposed land uses through a trail system should be incorporated to provide better conformance to all of the City's codes.
- (5) Please provide elevations of the proposed garages/covered parking in Subdistrict D.
- (6) Please provide an exhibit showing the view corridors for Subdistricts A, C, & D.
- (7) Look for ways to screen the parking garage in Subdistrict C (i.e. through green screens or building design).

M.12 PD Ordinance. Staff has prepared a Planned Development District ordinance for the applicant's review, and provided an annotated set of the applicant's development standards (see attachment) for the applicant's review. This markup includes staff's recommendations; however, there are several clarifications needed before this ordinance can

be finalized. Please review the attached draft ordinance prior to the August 27, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by September 4, 2024. Please carefully read through this document as staff has incorporated changes from what was originally submitted.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 4, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 10, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.14 The projected City Council meeting dates for this case will be September 16, 2024 (1st Reading) and October 7, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/22/2024	Approved w/ Comments

- 08/22/2024:
1. Need to identify acreage of each use.
 2. All enhanced pavement areas must be concrete. Pavers are not allowed if a City street. Can be integrated colored stamped concrete.
 3. These drives should be aligned so there is not a conflict in left turns.
 4. This ROW must be dedicated to the City by adjacent property owner. The City will not be responsible for the acquisition.
 5. Offsite easement required.
 6. Detention pond cannot be located within its own lot. It will need to be part of a lot that is being developed.
 7. This drive cannot encroach into the landscape buffer.
 8. Sign may not be within ROW or easements.
 9. All drive-thru areas require a 12' bypass lane.
 10. Sign may not be within easements.
 11. All parking spaces must be minimum 9'x20'
 12. Dedication of ROW from adjacent property owner required. City will not be responsible for acquisition.
 13. Off site easement required.
 14. Parallel parks must be 9'x22'.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines will need to be placed underground.
- A TIA is required. Review fees apply. TIA must be approved before engineering permit may be issued. Improvements identified within TIA must be constructed.
- An Infrastructure study is required. Review fees apply. Improvements identified within the infrastructure must be constructed at a minimum.
- City driveway spacing requirements must be met along Justin. TXDOT driveway spacing requirements must be met along I-30 frontage and FM 3549 (Stodghill).
- Additional comments may be provided at time of Site Plan.

Drainage Items:

- Detention is required. Drainage calculations based on property zoning, not land area use. Must detain to pre-developed flows.
- Existing flow patterns must be maintained.
- Detention ponds must be in a drainage easement located at the 2' freeboard elevation.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- An emergency spillway is required for the detention pond.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.

- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to detention pond. Minimum 2' above 100-year WSEL.
- All dumpster areas shall drain to an oil/water separator and then into the storm system.
- For drainage areas over 20 acres, the drainage design and study is sent to 3rd party consultant for review. Review fees apply.
- Must comply with the results of the drainage study, once completed.
- Property drains in multiple directions. Multiple detention systems may be required depending on proposed drainage patterns. Drainage may not increase flowing off site from any basin.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Any utility connects across existing roadways must be completed by dry bore.
- Any utility work in TXDOT ROW will require TxDOT permit.
- Must install 12" water mains per City master plans. Dedicate easements.
- Must continue 12" sewer main along Justin Road.
- Must comply with the results of the Water/Sewer Infrastructure study, once completed.
- Commercial sanitary sewer service line size is minimum 6" and must connect to a manhole.
- Water to be 10' separated from storm and sewer lines.
- Must install all water and sanitary sewer per Master Water and Wastewater Master Plan that is within or adjacent to property.

Roadway Paving Items:

- All new paving to be steel reinforced concrete.
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking allowed without a city approved turn around.
- Parking to be 20'x9' min. All drive aisles to be a minimum of 24' in width.
- Sidewalk required along public and TXDOT roadways.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Must build the second half of Justin Road per the City master thoroughfare plans, along with street lights, irrigation sleeve, and sidewalks
- No median cuts will be allowed in FM 3549 (N. Stodghill Road) due to driveway spacing requirements.
- TXDOT spacing requirements along I-30 for 40MPH posted speed limit is 305 ft and you may not have a driveway in the ramp gore area. Driveway spacing from gore must meet TXDOT standards.
- TxDOT permit will be submitted by the City.
- Must comply with the results of the TIA, once completed.
- Must construct the remaining width (35' B-B) of Conveyor
- All median (including median nose) construction must meet City requirements

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Ryan Miller	08/22/2024	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/19/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/19/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/12/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Ryan Miller	08/22/2024	N/A
No Comments			

DEVELOPMENT STANDARDS FOR ROCKWALL HEIGHTS

Exhibit 'A-1'

Composite Legal Description

Exhibit 'A-2'

Subdistrict A Legal Description

Exhibit 'A-3'

Subdistrict B Legal Description

Exhibit 'A-4'

Subdistrict C Legal Description

Exhibit 'A-5'

Subdistrict D Legal Description

Exhibit 'B'

Survey

Exhibit 'C-1'

Composite Concept/Development Plan

Exhibit 'C-1.1'

Composite Site Data Tables

Exhibit 'C-2'

Subdistrict 'A' Development Plan

For Large Format Retail

Exhibit 'C-3'

Subdistrict 'C' Development Plan

For Multi-Story Multi-Family

Exhibit 'C-4'
*Subdistrict 'D' Development Plan
For Garden Style Multi-Family*

Exhibit 'D'
Development Standards

Exhibit 'E-1'
Subarea A Elevations

Exhibit 'E-2'
Subarea C Elevations

Exhibit 'E-3'
Subarea D Elevations

Exhibit 'F'
Phasing Plan

(A) SUBDISTRICTS ESTABLISHED

The Subject Property is divided into four subdistricts as shown on the Composite Concept/ Development Plan. The intended development of the subdistricts is as follows:

- (1) Subdistrict A: The intent of *Subdistrict A* is to provide for a single, *Large Format* retailer.
- (2) Subdistricts B, C and D (General): The intent of *Subdistricts B, C and D* is to provide a *Regional* mixed-use development that incorporates multi-family, retail, restaurant, and/or entertainment land uses in conformance with the vision established in the IH-30 Corridor Plan contained in the OURHometown Vision 2040 Comprehensive Plan.
 - a. Subdistrict B (Specific): The intent of *Subdistrict B* is to provide *Regional* retail, restaurant, and/or entertainment land uses in conformance with the vision established in the IH-30 Corridor Plan contained in the OURHometown Vision 2040 Comprehensive Plan.
 - b. Subdistrict C (Specific): The intent of *Subdistrict C* is to provide a multi-story multifamily building that provides one style of residential housing as part of the *Regional* mixed-use development.
 - c. Subdistrict D (Specific): The intent of *Subdistrict D* is to provide a garden style

multi-family community that provides another style of residential housing as part of the *Regional* mixed-use development.

STAFF COMMENTS: THIS SECTION WAS INSERTED NEAR VERBATIM; HOWEVER, STAFF CHANGED 'MULTI-STORY MULTI-FAMILY BUILDING' TO 'URBAN RESIDENTIAL' AND 'GARDEN STYLE' TO 'LOW-RISE MULTI-FAMILY COMMUNITY'.

(B) PROCESS

- (1) Subdistrict A. Subdistrict A shall develop in general conformance with the Composite Concept/Development Plan (“Exhibit C-1”) and the Subdistrict A Development Plan (“Exhibit C-2”). Prior to issuance of a building permit for any building in Subdistrict A, a *PD Site Plan* shall be approved. A *PD Site Plan* that conforms to the development regulations of the Unified Development Code, *Ordinance No. 20-02* (“UDC”), as amended by this ordinance, shall be approved.
- (2) Subdistrict B. Subdistrict B shall develop in general conformance with the Composite Concept/Development Plan. Prior to issuance of a building permit for any building in Subdistrict B, a PD Development Plan and a PD Site Plan shall be approved. The PD Development Plan must be approved in accordance with Article 10, Planned Development Regulations, of the UDC and this ordinance. The PD Site Plan must be approved in accordance with the approval process for Site Plans in Article 11, Development Applications and Review Procedures, of the UDC. A PD Site Plan that conforms to the development regulations of the UDC, as amended by this ordinance, shall be approved.
- (3) Subdistrict C. Subdistrict C shall develop in general conformance with the Composite Concept/Development Plan and the Subdistrict C Development Plan (“Exhibit C-3”). Prior to issuance of a building permit for any building in Subdistrict C, a *PD Site Plan* must be approved in accordance with the approval process for *Site Plans* in Article 11, *Development Applications and Review Procedures*, of the UDC. A *PD Site Plan* that conforms to the development regulations of the UDC, as amended by this ordinance, shall be approved.
- (4) Subdistrict D. Subdistrict D shall develop in general conformance with the Composite Concept/Development Plan and the Subdistrict D Development Plan (“Exhibit C-4”). Prior to issuance of a building permit for any building in Subdistrict D, a *PD Site Plan* must be approved in accordance with the approval process for *Site Plans* in Article 11, *Development Applications and Review Procedures*, of the UDC. A *PD Site Plan* that conforms to the development regulations of the UDC, as amended by this ordinance, shall be approved.
- (5) PD Development Plans. If a *PD Site Plan* is submitted that does *not* meet the intent of this Planned Development District Ordinance, the Director of Planning and Zoning shall prepare a recommendation outlining how the proposed *PD Site Plan* fails to meet the intent, and bring the *PD Site Plan* and recommendation to the Planning and Zoning Commission for action. Should the Planning and Zoning Commission determine that the *PD Site Plan* does meet the intent of this ordinance, the *PD Site Plan* may be approved in accordance with the procedures of Article 11, *Development Applications and Review Procedures*, of the UDC and with the requirements of this ordinance; however, should the Planning and Zoning Commission determine that the *PD Site Plan* does *not* meet the intent of this ordinance, the Planning and Zoning Commission may deny the *PD Site Plan*

and the applicant shall be required to submit a *PD Development Plan* in accordance with Article 10, *Planned Development Regulations*, of the UDC and this ordinance.

STAFF COMMENTS: THIS SECTION WAS INSERTED NEAR VERBATIUM WITH ONLY MINOR TWEAKS TO THE LANGUAGE.

(C) GENERAL STANDARDS

The following general standards shall apply to *the entire planned development*:

- (1) Base Zoning. The base zoning district for this planned development shall be Commercial (C) District as set forth in the UDC.

STAFF COMMENTS: THIS SECTION IS NOT NECESSARY SINCE IT IS CALLED OUT IN EACH INDIVIDUAL SECTION; HOWEVER, STAFF INCLUDED LANGUAGE THAT ALL PROPERTIES ARE SUBJECT TO THE GENERAL OVERLAY DISTRICT REQUIREMENTS UNLESS OTHERWISE STATED IN THE PD ORDINANCE.

- (2) Maximum Number of Multi-Family Units: The maximum number of multi-family units in Subdistricts C and D shall be a combined total of 500 units.

STAFF COMMENTS: MOVED TO SUBDISTRICT C & D.

- (3) Parking Requirements.

- (a) There shall be no restrictions on parking between the front façade of the building and the front property line.

STAFF COMMENTS: BASED ON THE SUBMITTED CONCEPT PLAN DOES NOT APPEAR TO BE APPLICABLE.

- (b) In addition, except as otherwise provided herein, the parking requirements for specific land uses will be as calculated in Article 06, Parking and Loading, of the UDC; provided, however, the following parking ratios shall apply regardless of these standards:

- i) Office: One (1) Parking Space per 400 SF of Building Subdistrict. **300 SF**

STAFF COMMENTS: OFFICE PARKING IS 1/300 SF.

- ii) General Retail: One (1) Parking Space per 250 SF of Building Subdistrict
iii) Restaurant: One (1) Parking Space per 100 SF of Building Subdistrict.
iv) Warehouse/Distribution: One (1) Parking Space per 1,000 SF of Building Subdistrict.

STAFF COMMENTS: THIS SECTION WAS MOVED INTO SUBDISTRICT A.

- (c) For purposes of providing parking on the same lot as the building or use served in Subdistrict B, all of Subdistrict B shall be considered one lot.

STAFF COMMENTS: THIS SECTION WAS MOVED INTO SUBDISTRICT B AND THE LANGUAGE WAS CHANGED TO BE IN COMPLIANCE WITH THE SHARED PARKING REQUIREMENTS OF THE UDC.

- (4) Off-Street Loading Requirements. Loading docks shall not face directly onto the IH-30 Frontage Road, but may be located along the northern, western, and eastern facing building facades without restriction.

STAFF COMMENTS: MOVED TO SUBSECTION A SINCE THIS WILL NOT APPLY TO THE RETAIL AREAS.

- (5) Approved Landscape Materials. Unless otherwise provided for by this Planned Development District Ordinance, all landscape materials shall conform to the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the UDC.

STAFF COMMENTS: THIS SECTION IS NOT NECESSARY.

- (6) Landscape Buffers. Landscape buffers shall be provided as follows:

- (a) Landscape Buffer Adjacent to the IH-30 Frontage Road. Except as otherwise provided in this section, a minimum of a 20-foot landscape buffer shall be provided along the frontage of the IH-30 Frontage Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering/curvilinear six (6) foot sidewalk/trail shall be constructed within the 20-foot landscape buffer and public right-of-way, as permitted by TxDOT.

- a. In Subdistrict A, the landscape buffer adjacent to IH 30 shall be an average width of 20 feet, with a minimum width of seven (7) feet. Required trees (canopy and accent) may be grouped in the area between the parking and public right-of-way, provided the total number of required trees per the frontage length is provided.

STAFF COMMENTS: TREES ARE ALREADY PERMITTED TO BE GROUPED IN THE OVERLAY DISTRICTS AS LONG AS THE NUMBER OF TREES ARE PROVIDED WITHIN THE BUFFER. THE PROPOSED CONCEPT PLAN APPEARS TO BE IN CONFORMANCE WITH THE 20-FOOT LANDSCAPE BUFFER REQUIREMENT. THEREFORE, THIS WAS NOT INCLUDED IN THE PD ORDINANCE. REMOVED AS PERMITTED BY TXDOT AS THIS HAS NOT BEEN AN ISSUE ALONG IH-30.

- (b) Landscape Buffer Adjacent to Stodghill Road (FM-3549). A minimum of a 20-foot landscape buffer shall be provided along the frontage of the Stodghill Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A five (5) foot sidewalk shall be constructed within the 20-foot landscape buffer and public right-

of-way, as permitted by TxDOT.

STAFF COMMENTS: REMOVED AS PERMITTED BY TXDOT AS THIS HAS NOT BEEN AN ISSUE ALONG FM-3549.

- (c) Landscape Buffer Adjacent to Justin Road. Except as otherwise provided in this subsection, a minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Conveyor Street and Justin Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. In addition, one (1) canopy tree and one (1) accent tree shall be planted per 50-linear feet of frontage. A five (5) foot sidewalk shall be constructed within the ten (10) Foot landscape buffer and public right-of-way along Justin Road.

STAFF COMMENTS: STAFF HAD ERRONOUSLY LISTED A FIVE (5) FOOT SIDEWALK ALONG THIS ROADWAY AND NOT THE REQUIRED TRAIL. THIS WAS CORRECTED.

- a. In Subdistrict D, the landscape buffer adjacent to Justin Road shall be a minimum of 10 feet in width, and trees may be planted in the right-of-way along Justin Road. Awnings, patios, stoops, or similar residential entry features may extend a maximum of five (5) feet into the ten (10) foot landscape buffer.

STAFF COMMENTS: THIS WAS INCLUDED IN THE DENSITY AND DIMENSIONAL REQUIREMENTS TABLE NOTES IN SUBDISTRICT D'S REQUIREMENTS.

- (7) Open Space. A minimum of 20% of the gross land area within the entire Planned Development (PD) District shall be devoted to public and private open space. Detention and retention areas and landscape/open areas greater than two-feet in width may be counted towards the open space requirement. Open space may be satisfied by either public, private, or a combination of public and private open space.

STAFF COMMENTS: THIS MEANS THAT THE DEVELOPMENT WILL BE REQUIRED TO INCORPORATE 13.4118-ACRES OF OPEN SPACE. CURRENTLY, THE REGIONAL DETENTION POND IS ROUGHLY 3.471-ACRES OF THIS OPEN SPACE REQUIREMENT. THE REMAINDER OF THE CONCEPT PLAN DOES NOT HAVE ANY OTHER AREAS OF LARGE CONTIGUOUS OPEN SPACE. STAFF WOULD RECOMMEND -- THAT IN ACCORDANCE WITH THE IH-30 CORRIDOR PLAN AND THE COMPREHENSIVE PLAN -- BOTH THE MULTI-FAMILY DEVELOPMENT AND COMMERCIAL DEVELOPMENT INCORPORATE CONTIGUOUS OPEN SPACE AREAS THAT CREATE PEDESTRIAN CONNECTIVITY BETWEEN THE USES. USING LANDSCAPE BUFFERS AND ADDITIONAL DRAINAGE AREAS TO MEET THE ADDITIONAL TEN (10) ACRES AND NOT INCORPORATING FUNCTIONAL OPEN SPACES WOULD NOT APPEAR TO MEET THE INTENT OF THE OPEN SPACE REQUIREMENTS. IN ADDITION, THE OPEN SPACE AREAS SHOULD BE AT LEAST 20-FEET IN WIDTH TO BE COUNTED AS OPEN SPACE. STAFF DID CHANGE THIS IN THE PD ORDINANCE.

- (8) Fencing Standards. The fence standards shall conform to the requirements contained in Section 08, Fence Standards, of Article 08, Landscape and Fence Standards.

STAFF COMMENTS: THIS SECTION IS NOT NECESSARY.

- (9) Lighting Standards. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and positioned to contain all light within the developed area.

STAFF COMMENTS: THIS SECTION IS NOT NECESSARY SINCE IT IS AN OVERLAY DISTRICT REQUIREMENT.

- (10) Buried Utilities. New distribution power-lines required to serve the Subject Property shall be placed underground, whether such lines are located internally or along the perimeter of the Subject Property, unless otherwise authorized by the City Council. Temporary powered portions of the Subject Property necessary to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

STAFF COMMENTS: THIS LANGUAGE IS ONLY USED IN THE CITY'S RESIDENTIAL PLANNED DEVELOPMENT DISTRICTS. THE MUNICIPAL CODE OF ORDINANCES AND THE UDC REQUIRE POWERLINES TO BE BURIED UNLESS THEY ARE TEMPORARY LINES THAT WILL BE REMOVED.

- (11) Variance/Exceptions. The variance and exception procedures and standards for approval that are set forth in Article 11, Development Applications and Review Procedures, of the UDC shall apply to any application for variances or exceptions to the requirements of this ordinance unless a PD Development Plan is required.

STAFF COMMENTS: THE LANGUAGE OF THIS SECTION WAS CHANGED TO REFLECT THE PROCESS FOR ALL VARIANCES AND EXCEPTIONS TO THIS ORDINANCE.

(D) SUBDISTRICT A [_____ -Acres] LARGE FORMAT RETAIL DEVELOPMENT STANDARDS

- (1) Permitted Land Uses. Unless otherwise provided for by this Planned Development District Ordinance, Subdistrict A shall develop in accordance with the permitted land uses in Commercial (C) District, as stipulated by the Permissible Use Charts contained in Article 04, Permissible Uses, of the UDC, as amended herein, and as maybe amended in the future; provided, however, the following shall apply:

(a) The following land uses shall be permitted By-Right:

- Warehouse/Distribution ⁽¹⁾

NOTES:

(1): AS AN ACCESSORY LAND USE TO A GENERAL RETAIL STORE ONLY.

(b) The following land uses shall be expressly Prohibited:

- Agricultural Uses on Unplatted Land
- Animal Boarding/Kennel without Outside Pens
- Animal Hospital or Clinic
- Community Garden
- Urban Farm
- Caretakers Quarters/Domestic or Security Unit
- Convent, Monastery, or Temple
- Motel
- Blood Plasma Donor Center
- Cemetery/Mausoleum
- Church/House of Worship
- College, University, or Seminary
- Emergency Ground Ambulance Services
- Hospice
- Mortuary or Funeral Chapel
- Local Post Office
- Public or Private Primary School
- Public or Private Secondary School
- Temporary Education Buildings for Public or Private School
- Temporary Carnival, Circus, or Amusement Ride
- Temporary Fundraising Events by Non-Profit
- Indoor Gun Club with Skeet or Target Range
- Private Club, Lodge, or Fraternal Organization
- Tennis Courts (*i.e. Not Accessory to a Public or Private Country Club*)
- Astrologer, Hypnotist, or Psychic
- Portable Beverage Service Facility
- Business School
- Convalescent Care Facility/Nursing Home
- Daycare with Seven (7) or More Children
- Retail Store with Gasoline Sales that has Two (2) or Less Dispensers (*i.e. Maximum of Four [4] Vehicles*)
- Retail Store with Gasoline Sales that has more than Two (2) Dispensers
- Temporary Christmas Tree Sales Lot and/or Similar Uses
- Copy Center
- Garden Supply/Plant Nursery
- Laundromat with Dropoff/Pickup Services
- Self Service Laundromat
- Night Club, Discotheque, or Dance Hall
- Pawn Shop
- Permanent Cosmetics
- Temporary Real Estate Sales Office
- Rental Store without Outside Storage and/or Display
- Secondhand Dealer
- Bail Bond Services

- Building and Landscape Material with Limited Outside Storage
- Building Maintenance, Service, and Sales without Outside Storage
- Electrical, Watch, Clock, Jewelry and/or Similar Repair
- Furniture Upholstery/Refinishing and Resale
- Rental, Sales, and Service of Heavy Machinery and Equipment
- Locksmith
- Shoe and Boot Repair and Sales
- Trade School
- Minor Automotive Repair Garage
- Automobile Rental
- New or Used Boat and Trailer Dealership
- Full Service Car Wash and Auto Detail
- Self Service Car Wash
- New and/or Used Indoor Motor Vehicle Dealership/Showroom
- New Motor Vehicle Dealership for Cars and Light Trucks
- Used Motor Vehicle Dealership for Cars and Light Trucks
- Recreational Vehicle (RV) Sales and Service
- Service Station
- Temporary Asphalt or Concrete Batch Plants
- Mining and Extraction of Sand, Gravel, Oil and/or Other Materials
- Mini-Warehouse
- Wholesale Showroom Facility
- Commercial Antenna
- Commercial Freestanding Antenna
- Bus Charter Service and Service Facility
- Helipad
- Radio Broadcasting
- Railroad Yard or Shop
- Transit Passenger Facility
- Wireless Communication Tower

STAFF COMMENTS: NO CHANGES TO THIS SECTION WERE MADE.

(2) Density and Development Standards. Unless otherwise provided for by this Planned Development District Ordinance, *Subdistrict A* shall be subject to the density and dimensional requirements stipulated in the Commercial (C) District as set forth in Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the UDC as amended herein, and as may be amended in the future; provided, however, all development on *Subdistrict A* shall conform to the standards depicted in *Table 1*, which are as follows:

TABLE 1: LOT DIMENSIONAL REQUIREMENTS

<i>MINIMUM LOT AREA</i>	10,000 SF
<i>MINIMUM LOT WIDTH</i>	60'
<i>MINIMUM LOT DEPTH</i>	100'
<i>MINIMUM FRONT YARD SETBACK</i>	Per Subdistrict A Development Plan
<i>MINIMUM SIDE YARD SETBACK</i>	Per Subdistrict A Development Plan

<i>MINIMUM REAR YARD SETBACK</i>	Per Subdistrict A Development Plan
<i>MINIMUM BETWEEN BUILDINGS</i>	NA
<i>MAXIMUM BUILDING HEIGHT</i>	75'
<i>MAXIMUM LOT COVERAGE ⁽¹⁾</i>	60%
<i>MINIMUM LANDSCAPING</i>	10%

GENERAL NOTES:

¹: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

STAFF COMMENTS: STAFF INCORPORATED THE REQUIRED SETBACKS FOR THE COMMERCIAL DISTRICT AS THEY DO NOT SEEM TO CONFLICT WITH THE PROVIDED CONCEPT PLAN FOR THIS SUBDISTRICT. LANDSCAPING PERCENTAGE WAS CHANGED BACK TO THE 20% REQUIRED BY THE COMMERCIAL (C) ZONING DISTRICT.

- (3) Residential Screening Requirements. Any development in *Subdistrict A* shall be exempt from the *Residential Adjacency Screening Requirements* stipulated in Article 08, *Landscape and Fence Standards*, of the UDC.

STAFF COMMENTS: NO CHANGE.

- (4) Elevations. Development of Subarea A shall be in general conformance with the elevations in Exhibit 'C-1' (the "Subarea A Elevations").

STAFF COMMENTS: NO CHANGE OTHER THAN THE LANGUAGE.

- (5) Building Materials and Design Standards. All buildings in *Subdistrict A* shall adhere to the following:

- (a) Building Materials. The following building materials shall be permitted: stone, brick, glass curtain wall, aluminum and glass storefront, glass block, tile, prefabricated metal panel (e.g. *Aluminum Composite Material (ACM) panels* or *Performed Composite Metal (PCM) panels*), custom painted tilt-up concrete panel, and custom Concrete Masonry Units (CMU) (i.e. *units that have been sandblasted, burnished, or that have a split face -- light weight block or smooth faced block shall be prohibited*). In addition, the use of cementitious materials (i.e. *fiber cement, stucco, cementitious lap siding, tilt-up concrete or similar materials approved by the Director of Planning and Zoning or his/her designee*) shall be permitted without limitation for use on the building's exterior façade; however, stucco shall not be used within the first four (4) feet from grade on a building's façade.

STAFF COMMENTS: STAFF REMOVED PERFORMED COMPOSITE METAL PANEL. THIS IS NOT A PERMITTED BUILDING MATERIAL IN ANY OF THE CITY'S OVERLAY DISTRICTS.

- (b) Articulation Requirements. The articulation requirements stipulated in Section 04.01, *General Commercial District Standards*, and Section 06.02, *General Overlay District Standards*, of the UDC shall not apply to *Subdistrict A*; however, all buildings in *Subdistrict A* should generally include an articulated entryway that creates some relief in the front façade of the building. This element will be reviewed by the Architectural

Review Board (ARB) with the *PD Site Plan*.

STAFF COMMENTS: NO CHANGE.

- (c) Roof Design Standards. Flat roofs with or without parapets may be permitted; however, all rooftop mechanical equipment and/or other rooftop appurtenances (excluding solar panels) shall not be visible at-grade from the boundaries of *Subdistrict A*.

STAFF COMMENTS: NO CHANGE.

- (d) Required Architectural Elements. All buildings shall be required to incorporate a minimum of two (2) of the following architectural elements:

- Canopies, Awnings, or Porticos
- Recesses/Projections
- Arcades
- Peaked Roof Forms
- Arches
- Outdoor Patios
- Display Windows
- Architectural Details (e.g. *Tile Work and Moldings*) Integrated into the Building's Façade
- Articulated Ground Floor Levels or Bases
- Articulated Cornice Line
- Integrated Planters or Wing Walls that Incorporate Landscape and Sitting Subdistricts
- Offsets, Reveals, or Projecting Rib Expressing Architectural or Structural Bays
- Varied Roof Heights

STAFF COMMENTS: NO CHANGE.

- (6) Landscaping. Except as otherwise provided herein, landscaping shall conform to the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the UDC.

STAFF COMMENTS: REMOVED/NOT NECESSARY.

- (7) Signage. All signage shall conform to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; provided, however, the following shall apply:

- (a) Wall Signage. A business shall be allowed any number of attached wall signs, projection signs, canopy signs, or marquee signs, so long as the total face Subdistrict of the attached signs do not exceed 22.00% of the aggregate Subdistrict of the wall face on which they are affixed. Canopy signs may extend above or below the canopy band.

STAFF COMMENTS: STAFF RECOMMENDS CHANGING THIS BACK TO THE 15.00% THAT WAS ORIGINALLY DISCUSSED.

- (b) Freestanding Monopole Sign. *Freestanding Monopole Signs* shall conform to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, one (1) *Freestanding Monopole Sign* in this Subdistrict may be a maximum of 120-feet in height, and have up to three (3) sign faces a maximum of 700 SF each (*i.e. an overall maximum signage Subdistrict of 2,100 SF*). One (1) additional *Freestanding Monopole Signs* -- conforming to the setback requirements of the Municipal Code of Ordinances -- shall be permitted on the site may be established as *Freestanding Monopole Signs* or *Digital Sign* (at the same maximum size and square footage permitted for *Freestanding Monopole Signs* by the Municipal Code of Ordinances).

STAFF COMMENTS: STAFF RECOMMENDS CHANGING THIS BACK TO THE 1,800 SF THAT WAS ORIGINALLY DISCUSSED.

- (c) Digital Wall Signage. In addition to the 15.00% wall signage permitted above, two (2) 700 SF digital wall signs shall be permitted on the building. Digital wall signage shall be subject to the requirements for Changeable Electronic Variable Message Signs (CEVMS) as stipulated by Section 32-233(3) through Section 32-233(6) of the Municipal Code of Ordinances.

STAFF COMMENTS: NO CHANGE.

- (d) Parking Lot Banner Signs. Four (4) 12 SF parking lot banner signs shall be permitted per parking aisle (*i.e. a parking aisle consists of two [2] rows of parking on either side of a 24-foot access drive-aisle*). The sign face of a parking lot banner sign may be changed from time-to-time without the need to apply for a sign permit; however, a sign permit will be required to establish a parking lot banner sign.

STAFF COMMENTS: NO CHANGE.

- (e) Flag Pole Signs. Up to twelve (12) flag poles with flags that have the company's name or logo shall be permitted at main points of ingress/egress into the site pending they do not exceed a maximum height of 30-feet. Flag poles displaying state or national flags shall meet the requirements of the Unified Development Code (UDC).

STAFF COMMENTS: STAFF RECOMMENDS LIMITING THIS TO EIGHT (8) WHICH IS WHAT OTHER IKEA STORES CURRENTLY HAVE.

- (f) Traffic Signs. *Traffic Signs* shall adhere to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, they may be a maximum of five (5) feet in height. Traffic signs may contain a commercial message.

STAFF COMMENTS: REMOVED THE COMMERCIAL MESSAGE FROM TRAFFIC SIGNS AS THIS IS NOT PERMITTED ON ANY OTHER PROPERTY IN THE CITY.

- (g) Internal Billboard Signs. Up to eight (8) internal billboard signs are permitted, each not to exceed nine (9) feet in height. The face of an internal billboard sign shall not exceed 45 square feet. Internal billboard signs may be externally illuminated.

STAFF COMMENTS: THIS SECTION DOES NOT WORK WITH OUR CURRENT SIGN CODE. BILLBOARDS ARE EXPRESSLY PROHIBITED AND WHAT THIS SECTION IS REFERING TO IS A FREESTANDING SIGN. THE NUMBER OF FREE-

STANDING SIGNS IS ALREADY BEING VARIED BY OTHER SECTIONS IN THIS ORDINANCE. THIS IS ALSO ABOVE AND BEYOND WHAT WAS ORIGINALLY DISCUSSED.

- (h) Parking Memorizer Signs. *Parking Memorizer Signs* shall be permitted as a pole sign with four (4) faces, each face not to exceed two (2) square feet. Parking memorizer signs shall be placed a minimum of 60 feet apart. No more than eight (8) parking memorizer signs shall be permitted. Parking memorizer signs shall contain directional information only; no commercial messages shall be permitted.

STAFF COMMENTS: IS THIS BASICALLY THE LETTERS ON THE LIGHT POLES FOR ROW/AISLE? THIS HAS NOT BEEN PERMITTED ON ANY OTHER PROPERTY IN THE CITY AND WAS NOT INCLUDED IN THE ORDINANCE.

(E) SUBDISTRICT B [_____ -Acres], REGIONAL RETAIL DEVELOPMENT STANDARDS

- (1) Permitted Land Uses. Unless otherwise provided for by this Planned Development District Ordinance, *Subdistrict B* shall develop in accordance with the permitted land uses in the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, as amended herein, and as may be amended in the future; provided, however, the following shall apply:

(a) The following uses shall be permitted *By Right*:

- Restaurant with less than 2,000 SF with Drive-Through or Drive-In (A maximum of nine (9) restaurants with less than 2,000 SF with Drive-Through or Drive-In service are permitted. The building footprints in Subdistrict B, as shown on the Composite Concept/Development Plan, are conceptual in nature. The exact location of any restaurant use shall be determined at time of Development Plan approval.)

STAFF COMMENTS: STAFF WOULD STRONGLY RECOMMEND NOT INCORPORATING THIS INTO THE PLANNED DEVELOPMENT DISTRICT AND HAS EXCLUDED IT. STAFF WOULD LIKE TO DISCUSS THIS.

(b) The following land uses shall be only permitted through a Specific Use Permit (SUP):

- Business School
- Convalescent Care Facility/Nursing Home
- Retail Store with Gasoline Sales that has Two (2) or Less Dispensers (*i.e. Maximum of Four [4] Vehicles*)
- Retail Store with Gasoline Sales that has more than Two (2) Dispensers

(c) The following land uses shall be expressly Prohibited:

- Agricultural Uses on Unplatted Land
- Animal Boarding/Kennel without Outside Pens
- Animal Hospital or Clinic
- Community Garden
- Urban Farm
- Caretakers Quarters/Domestic or Security Unit

- Convent, Monastery, or Temple
- Blood Plasma Donor Center
- Cemetery/Mausoleum
- Church/House of Worship
- College, University, or Seminary
- Emergency Ground Ambulance Services
- Hospice
- Mortuary or Funeral Chapel
- Local Post Office
- Public or Private Primary School
- Public or Private Secondary School
- Temporary Education Buildings for Public or Private School
- Temporary Carnival, Circus, or Amusement Ride
- Indoor Gun Club with Skeet or Target Range
- Private Club, Lodge, or Fraternal Organization
- Tennis Courts (*i.e. Not Accessory to a Public or Private Country Club*)
- Astrologer, Hypnotist, or Psychic
- Portable Beverage Service Facility
- Copy Center
- Garden Supply/Plant Nursery
- Laundromat with Dropoff/Pickup Services
- Self Service Laundromat
- Night Club, Discotheque, or Dance Hall
- Pawn Shop
- Permanent Cosmetics ⁽¹⁾
- Rental Store without Outside Storage and/or Display
- Secondhand Dealer
- Bail Bond Services
- Building and Landscape Material with Limited Outside Storage
- Building Maintenance, Service, and Sales without Outside Storage
- Furniture Upholstery/Refinishing and Resale ⁽²⁾
- Rental, Sales, and Service of Heavy Machinery and Equipment
- Locksmith
- Trade School
- Minor Automotive Repair Garage
- Automobile Rental
- New or Used Boat and Trailer Dealership
- Full Service Car Wash and Auto Detail
- Self Service Car Wash
- New and/or Used Indoor Motor Vehicle Dealership/Showroom
- New Motor Vehicle Dealership for Cars and Light Trucks
- Used Motor Vehicle Dealership for Cars and Light Trucks
- Recreational Vehicle (RV) Sales and Service
- Service Station
- Temporary Asphalt or Concrete Batch Plants
- Mining and Extraction of Sand, Gravel, Oil and/or Other Materials
- Mini-Warehouse
- Wholesale Showroom Facility

- Commercial Antenna
- Commercial Freestanding Antenna
- Bus Charter Service and Service Facility
- Helipad
- Radio Broadcasting
- Railroad Yard or Shop
- Transit Passenger Facility
- Wireless Communication Tower

NOTES:

(1): UNLESS ACCESSORY TO A SPA OR HAIR SALON.

(2): UNLESS ACCESSORY TO A GENERAL RETAIL STORE.

STAFF COMMENTS: ONLY CHANGES TO THE PERMITTED BY-RIGHT SECTION. OTHERWISE, NO CHANGE.

- (2) Density and Development Standards. Unless otherwise provided for by this Planned Development District Ordinance or as waived by the City Council in a *PD Development Plan, Subdistrict B* shall be subject to the density and dimensional standards stipulated for a property in a Commercial (C) District and the IH-30 Overlay (IH-30 OV) District as required by Section 04, *Commercial Districts*, and Section 06, *Overlay Districts*, of Article 05, *District Development Standards*, of the UDC, as amended herein, and as maybe amended in the future; provided, however, the following standards shall apply:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK	15'
MINIMUM SIDE YARD SETBACK	10' or 0' w/o ROW
MINIMUM REAR YARD SETBACK	15'
MINIMUM BETWEEN BUILDINGS	0
MAXIMUM BUILDING HEIGHT	75'
MAXIMUM LOT COVERAGE ⁽¹⁾	60%
MINIMUM LANDSCAPING	10%

GENERAL NOTES:

NO FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

STAFF COMMENTS: REDUCED THE HEIGHT TO 60-FEET IN CONFORMANCE WITH THE COMMERCIAL DISTRICT REQUIREMENTS.

- (3) Roof Design Standards. Flat roofs with or without parapets may be permitted; however, all rooftop mechanical equipment and/or other rooftop appurtenances (*excluding solar panels*) shall not be visible at-grade from the boundaries of *Subdistrict B*.

STAFF COMMENTS: THIS WAS REMOVED. ALL COMMERCIAL BUILDINGS SHOULD MEET AT A MINIMUM THE SAME BUILDING STANDARDS AS THE REST OF THE IH-30 CORRIDOR.

- (4) Residential Screening Requirements. Any development in *Subdistrict B* shall be exempt from the *Residential Adjacency Screening Requirements* stipulated in Article 08, *Landscape and Fence Standards*, of the UDC.

STAFF COMMENTS: STAFF CHANGED THE LANGUAGE ON THIS TO SPECIFY THE LOCATION OF THE WAIVED RESIDENTIAL SCREENING.

- (5) Signage. In addition to the restrictions in Chapter 32, *Signs*, of the Municipal Code of Ordinances, and the requirements of this Planned Development District Ordinance, *Subdistrict B* shall be subject to the following signage requirements:

- a. Traffic Signs. *Traffic Signs* shall adhere to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, they may be a maximum of four (4) feet in height.

STAFF COMMENTS: THE CURRENT CODE ALLOWS THREE (3) FEET IN HEIGHT AND THE SHOPPING CENTER SHOULD COMPLY WITH THIS REQUIREMENT. THIS WAS EXCLUDED.

- b. Highway Retail Billboard Sign. Three (3) *Highway Retail Billboard Signs* shall be permitted along IH30.

STAFF COMMENTS: STAFF WOULD LIKE TO DISCUSS THIS REQUEST.

- c. Ground Mounted Signs. Two (2) large ground mounted signs are permitted at each entrance along IH30, N. Stodghill Road, and Justin Road.

STAFF COMMENTS: STAFF WOULD LIKE TO DISCUSS THIS REQUEST.

- d. Multi-family Signs. Signage for multi-family uses in Subdistricts C & D are permitted as on-site signage in Subdistrict B. No more than eight (8) multi-family signs shall be permitted.

STAFF COMMENTS: THIS IS OFF-SITE SIGNAGE AND IS PROHIBITED BY THE MUNICIPAL CODE OF ORDINANCES. STAFF WOULD LIKE TO DISCUSS THIS.

(F) SUBDISTRICT C [_____ -Acres], MULTISTORY MULTI-FAMILY DEVELOPMENT STANDARDS

STAFF COMMENTS: SHOULD THERE NOT BE PARKING REQUIREMENTS IN THIS SECTION. MR. ABLON HAD MENTIONED IN THE PAST THAT HE WANTED TO VARY THE PARKING REQUIREMENTS.

- (1) Permitted Land Uses. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict C* shall develop in accordance with the permitted land uses

in the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, as heretofore amended, as amended herein, and as may be amended in the future; provided, however, the following shall apply:

(a) The following uses shall also be permitted *By Right*:

- Multi-Family Residential
- Home Occupation

STAFF COMMENTS: PLEASE CALL STAFF TO DISCUSS THIS. THE SECTION IN THE PREVIOUS ORDINANCE WAS WRITTEN FOR A SPECIFIC PURPOSE. PLEASE CALL STAFF TO DISCUSS THIS.

(2) Density and Development Standards. Unless otherwise provided for by this Planned Development District Ordinance or as waived by the City Council in a *PD Development Plan*, *Subdistrict C* shall be subject to the density and dimensional standards stipulated for a property in a Commercial (C) District and the IH-30 Overlay (IH-30 OV) District as required by Section 04, *Commercial Districts*, and Section 06, *Overlay Districts*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following standards shall apply:

TABLE 3: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK	15'
MINIMUM SIDE YARD SETBACK	10' or 0' w/o ROW
MINIMUM REAR YARD SETBACK	10'
MINIMUM BETWEEN BUILDINGS	0
MAXIMUM BUILDING HEIGHT	75'
MAXIMUM LOT COVERAGE ⁽¹⁾	60%
MINIMUM LANDSCAPING	20%

STAFF COMMENTS: NO CHANGE.

(3) Elevations. Development of Subarea C shall be in general conformance with the elevations in Exhibit 'E-2' (the "Subarea C Elevations").

STAFF COMMENTS: NO CHANGE.

(G) SUBDISTRICT D [_____ -Acres], GARDEN STYLE MULTI-FAMILY DEVELOPMENT STANDARDS

STAFF COMMENTS: SHOULD THERE NOT BE PARKING REQUIREMENTS IN THIS SECTION. MR. ABLON HAD MENTIONED IN THE PAST THAT HE WANTED TO VARY THE PARKING REQUIREMENTS.

(1) Permitted Land Uses. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict D* shall develop in accordance with the permitted land uses in the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, as heretofore amended, as amended herein, and as may be amended in the future; provided, however, the following shall apply:

(a) The following uses shall also be permitted *By Right*:

- Multi-Family Residential
- Home Occupation

STAFF COMMENTS: PLEASE CALL STAFF TO DISCUSS THIS. THE SECTION IN THE PREVIOUS ORDINANCE WAS WRITTEN FOR A SPECIFIC PURPOSE. PLEASE CALL STAFF TO DISCUSS THIS.

(2) Density and Development Standards. Unless otherwise provided for by this Planned Development District Ordinance or as waived by the City Council in a *PD Development Plan*, *Subdistrict D* shall be subject to the density and dimensional standards stipulated for a property in a Commercial (C) District and the IH-30 Overlay (IH-30 OV) District as required by Section 04, *Commercial Districts*, and Section 06, *Overlay Districts*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following standards shall apply:

TABLE 4: LOT DIMENSIONAL REQUIREMENTS

<i>MINIMUM LOT AREA</i>	10,000 SF
<i>MINIMUM LOT WIDTH</i>	60'
<i>MINIMUM LOT DEPTH</i>	100'
<i>MINIMUM FRONT YARD SETBACK</i>	10'
<i>MINIMUM SIDE YARD SETBACK</i>	10' or 0' w/o ROW
<i>MINIMUM REAR YARD SETBACK</i>	15'
<i>MINIMUM BETWEEN BUILDINGS</i>	0
<i>MAXIMUM BUILDING HEIGHT</i>	75'
<i>MAXIMUM LOT COVERAGE ⁽¹⁾</i>	60%
<i>MINIMUM LANDSCAPING</i>	20%

STAFF COMMENTS: REDUCED THE HEIGHT TO 60-FEET IN CONFORMANCE WITH THE COMMERCIAL DISTRICT REQUIREMENTS AS 75-FEET WILL NOT BE NEEDED FOR THE PROPOSED PRODUCT.

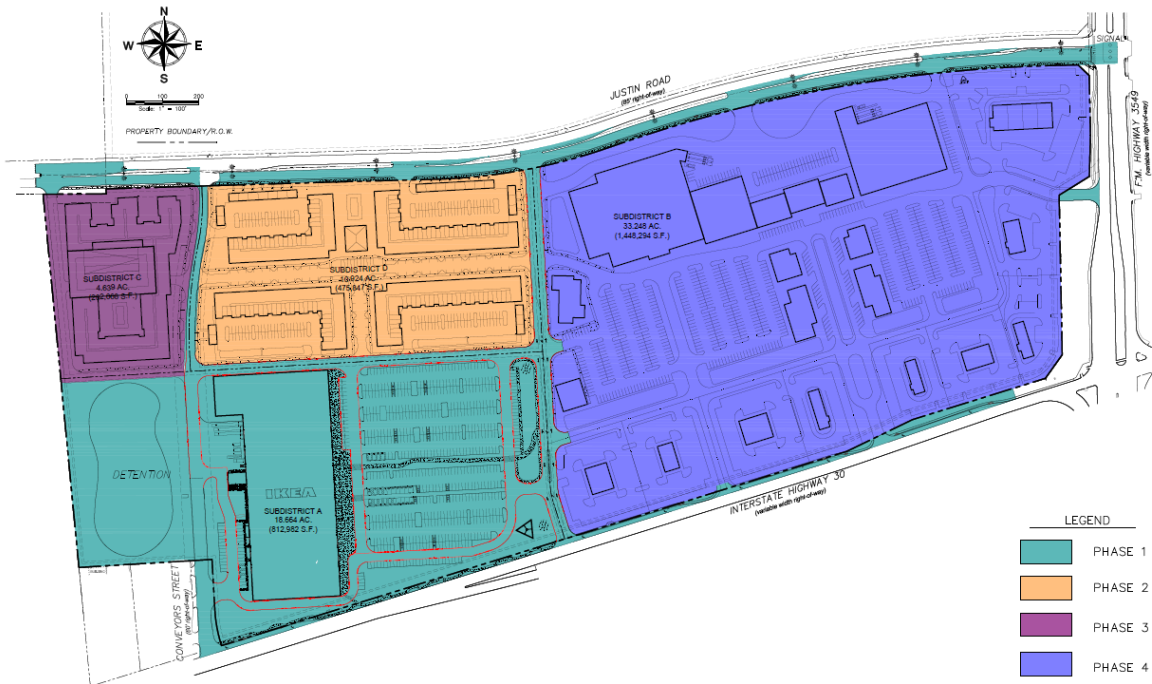
(3) Elevations. Development of Subarea D shall be in general conformance with the elevations in Exhibit 'E-3' (the "Subarea D Elevations").

STAFF COMMENTS: NO CHANGE.

Need to identify acreage of each use.

PLANNED DEVELOPMENT CONCEPT/DEVELOPMENT PLAN INFORMATIONAL STATEMENT

The proposed Planned Development District will feature a prominent commercial and retail development, which aligns with the City of Rockwall’s *OURHometown 2040 Vision Comprehensive Plan* (the “Comprehensive Plan”). The Comprehensive Plan identifies this area as an Opportunity Zone within the IH-30 Corridor District, which is a primary retail corridor. Also being within the Strategically Located Property #4 of the IH-30 Corridor District, the Comprehensive Plan notes that “this property is in an ideal location for a large commercial/retail development/regional center.” The proposed development will also include a limited residential use, aligning with the Comprehensive Plan’s description of Special Commercial Corridor which includes Residential as an appropriate secondary use and encompasses this area. The residential component will establish an active and vibrant mixed-use environment consisting of approximately acres. The proposed development will occur in multiple phases, with construction of the first phase of development (identified as “Subdistrict A” on the Composite Concept/Development Plan) anticipated to begin in late 2024 or early 2025. The second, third, and fourth phases of development (identified as “Subdistrict D”, “Subdistrict C”, and “Subdistrict B”, respectively, on the Composite Concept/Development Plan) is anticipated to be developed over the next five (5) years, with the entire development estimated to be complete in 2030. Major capital improvements are anticipated to commence construction in late 2024 or early 2025, which will serve each phase of the development. Included below is the PD Composite Concept/Development Plan, overlaid with the proposed Phasing Plan.



ROCKWALL HEIGHTS
GFFdesign PegasusAblon **IKEA** Colliers Engineering & Design JW Jackson Walker Winkelman & Associates, Inc.

EXHIBIT F
PHASING PLAN
Job #: 24039 Rockwall, Texas Rockwall Heights // August 09, 2024 // Site Analysis



All enhanced pavement areas must be concrete. Pavers are not allowed if a City street. Can be integrated colored stamped concrete.

These drives should be aligned so there is not a conflict in left turns.

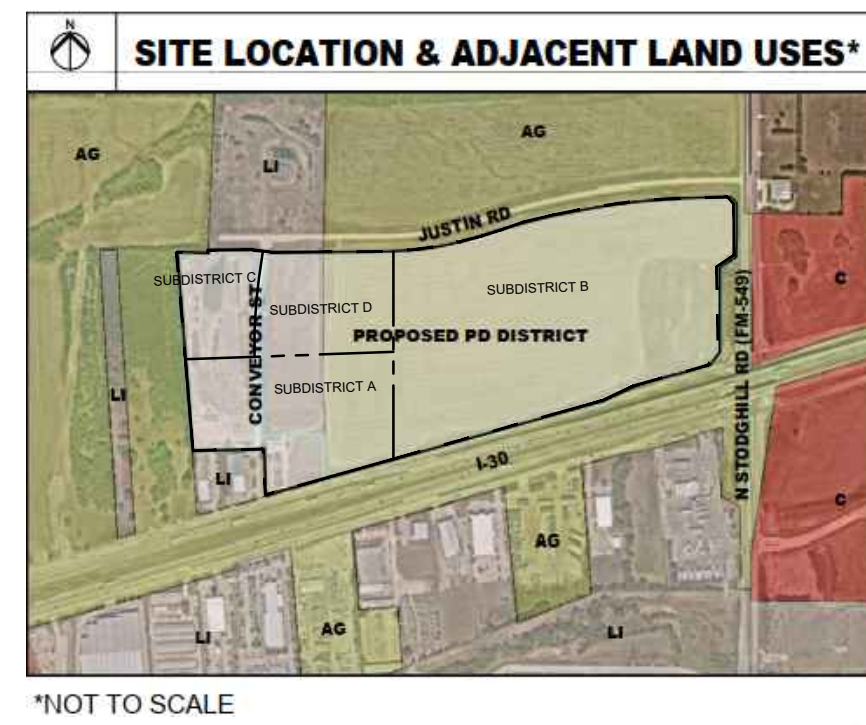
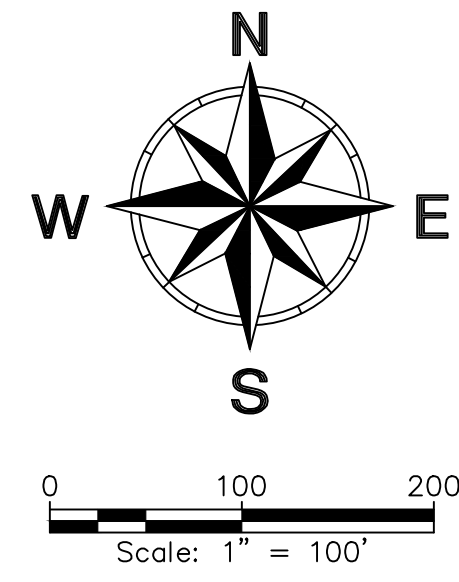
- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway).
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
 - No signage is allowed within easements or ROW.
 - Required 10' utility easement along all street frontages.
 - All utilities must be underground. Existing overhead utility lines will need to be placed underground.
 - A TIA is required. Review fees apply. TIA must be approved before engineering permit may be issued. Improvements identified within TIA must be constructed.
 - An Infrastructure study is required. Review fees apply. Improvements identified within the infrastructure must be constructed at a minimum.
 - City driveway spacing requirements must be met along Justin. TXDOT driveway spacing requirements must be met along I-30 frontage and FM 3549 (Stodghill).
 - Additional comments may be provided at time of Site Plan.

- Drainage Items:**
- Detention is required. Drainage calculations based on property zoning, not land area use. Must detain to pre-developed flows.
 - Existing flow patterns must be maintained.
 - Detention ponds must be in a drainage easement located at the 2' freeboard elevation.
 - No vertical walls allowed in detention easement. Max 4:1 side slopes.
 - No public water or sewer allowed within the detention easement.
 - An emergency spillway is required for the detention pond.
 - The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
 - No grate inlets allowed
 - 100-year WSEL must be called out for detention ponds.
 - FFE for all buildings must be called out when adjacent to detention pond. Minimum 2' above 100-year WSEL.
 - All dumpster areas shall drain to an oil/water separator and then into the storm system.
 - For drainage areas over 20 acres, the drainage design and study is sent to 3rd party consultant for review. Review fees apply.
 - Must comply with the results of the drainage study, once completed. Property drains in multiple directions. Multiple detention systems may be required depending on proposed drainage patterns. Drainage may not increase flowing off site from any basin.

- Water and Wastewater Items:**
- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
 - Public sewer to be 8" minimum.
 - Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Min 20' utility easements.
 - Any utility connects across existing roadways must be completed by dry bore.
 - Any utility work in TXDOT ROW will require TXDOT permit.
 - Must install 12" water mains per City master plans. Dedicate easements.
 - Must continue 12" sewer main along Justin Road.
 - Must comply with the results of the Water/Sewer Infrastructure study, once completed.
 - Commercial sanitary sewer service line size is minimum 6" and must connect to a manhole.
 - Water to be 10' separated from storm and sewer lines.
 - Must install all water and sanitary sewer per Master Water and Wastewater Master Plan that is within or adjacent to property.

- Roadway Paving Items:**
- All new paving to be steel reinforced concrete.
 - Fire lane to be 24' wide and in a platted easement.
 - No dead-end parking allowed without a city approved turn around.
 - Parking to be 20'x9' min. All drive aisles to be a minimum of 24' in width.
 - Sidewalk required along public and TXDOT roadways.
 - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
 - Must build the second half of Justin Road per the City master thoroughfare plans, along with street lights, irrigation sleeve, and sidewalks
 - No median cuts will be allowed in FM 3549 (N. Stodghill Road) due to driveway spacing requirements.
 - TXDOT spacing requirements along I-30 for 40MPH posted speed limit is 305 ft and you may not have a driveway in the ramp gore area. Driveway spacing from gore must meet TXDOT standards.
 - TXDOT permit will be submitted by the City.
 - Must comply with the results of the TIA, once completed.
 - Must construct the remaining width (35' B-B) of Conveyor
 - All median (including median nose) construction must meet City requirements

- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



JAMES COLLIER
PROPERTIES, INC.
CC #2019000002250

LOT 1, BLOCK A
ROCKWALL COMMERCIAL
CC #20210000008470

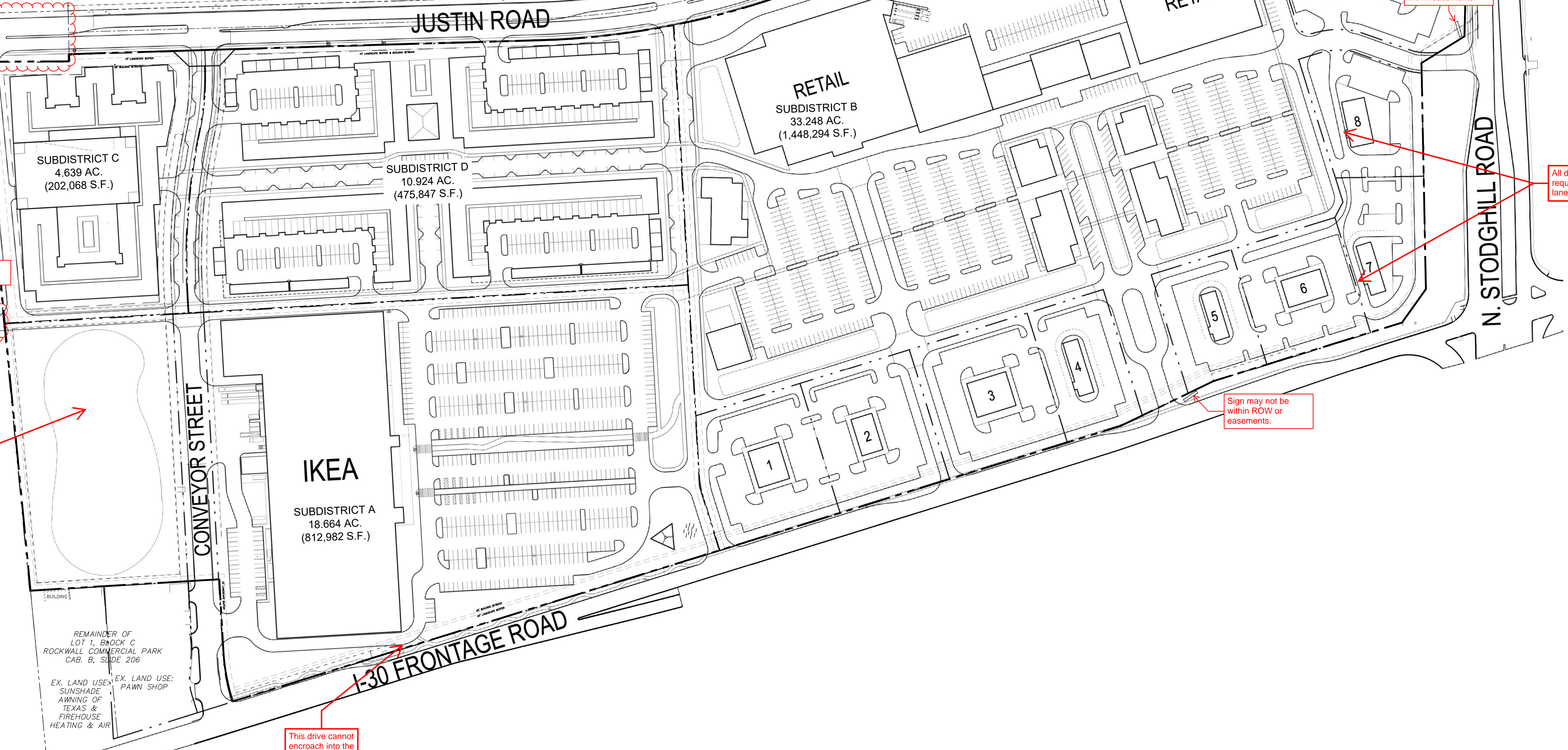
EX. LAND USE: VACANT

This ROW must be dedicated to the City by adjacent property owner. The City will not be responsible for the acquisition.

JANIS G. DORRIS & NELDA L. LACUESTA
VOL. 850, PG. 85
EX. LAND USE: VACANT

PROPERTY BOUNDARY/R.O.W.

*NOT TO SCALE



Sign may not be within easements.

All drive-thru areas require a 12' bypass lane.

Sign may not be within ROW or easements.

Detention pond cannot be located within its own lot. It will need to be part of a lot that is being developed.

Offsite easement required.

ROCKWALL 549/1-30 PARTNERS LP INST. NO. 200700387637 EX. LAND USE: VACANT

This drive cannot encroach into the landscape buffer.

ROCKWALL HEIGHTS
GFFdesign

ADDRESS:
3030 NOWITZKI WAY
SUITE 400
DALLAS, TX 75219

PegasusAblon

ADDRESS:
8222 DOUGLAS AVE.
SUITE 390
DALLAS, TX 75225



ADDRESS:
420 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19428



Engineering & Design
ADDRESS:
20700 CIVIC CENTER DR.
SUITE 170
SOUTHFIELD, MI 48076



ADDRESS:
2323 ROSS AVE.
6TH FLOOR
DALLAS, TX 75201



ADDRESS:
6750 HILLCREST PLAZA DR.
SUITE 215
DALLAS, TX 75219

CURRENT OWNERS:
ROCKWALL 549/130 PARTNERS, LP &
CONVEYOR 130 PARTNERS, LP

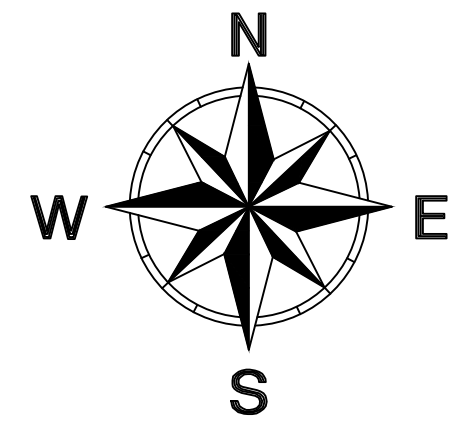
NOTES:
MINIMUM SIDE & REAR YARD SETBACKS: 10'

EXHIBIT C-1 0 25 50 100

COMPOSITE CONCEPT/DEVELOPMENT PLAN

Job #: 24039 Rockwall, Texas Rockwall Heights // August 08 2024 // Site Analysis

SUBDISTRICT C
4.639 AC.
(202,068 S.F.)



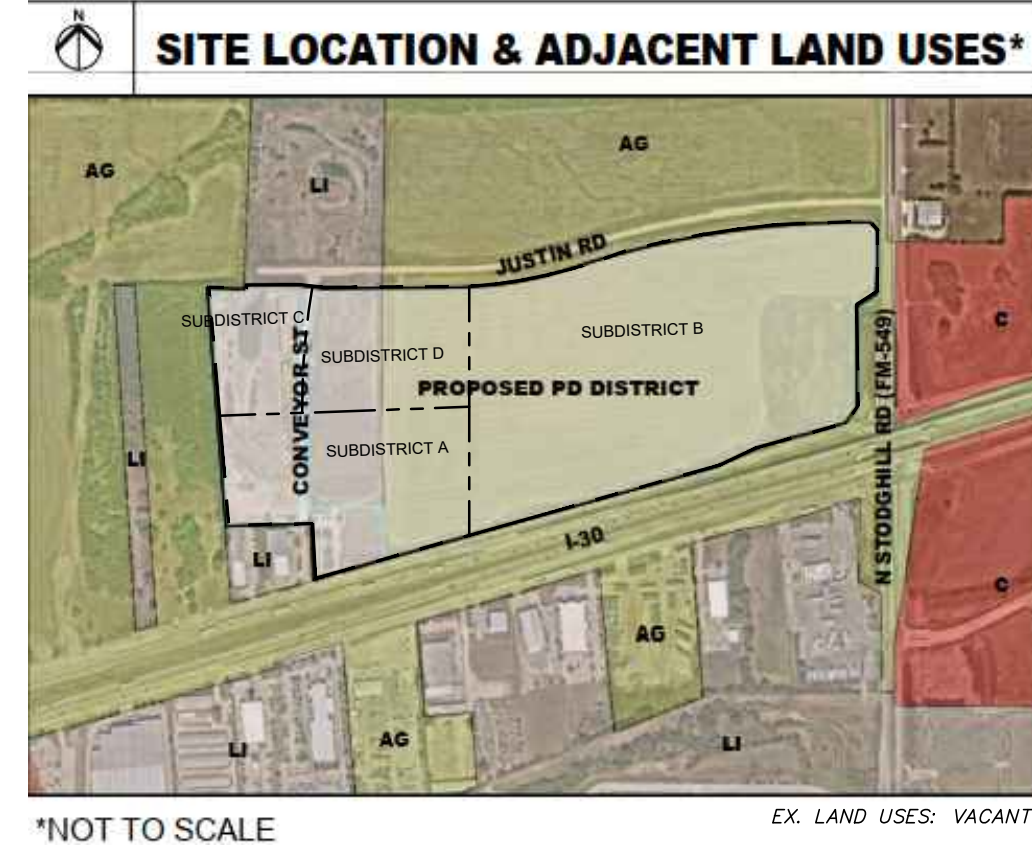
Scale: 1" = 60'

PROPERTY BOUNDARY/R.O.W.

CURRENT OWNERS:
ROCKWALL 549/130 PARTNERS, LP &
CONVEYOR 130 PARTNERS, LP

- NOTES:
- MINIMUM SIDE & REAR YARD SETBACKS: 10'
 - DIMENSIONS ARE TO FACE OF CURB OTHERWISE NOTED.

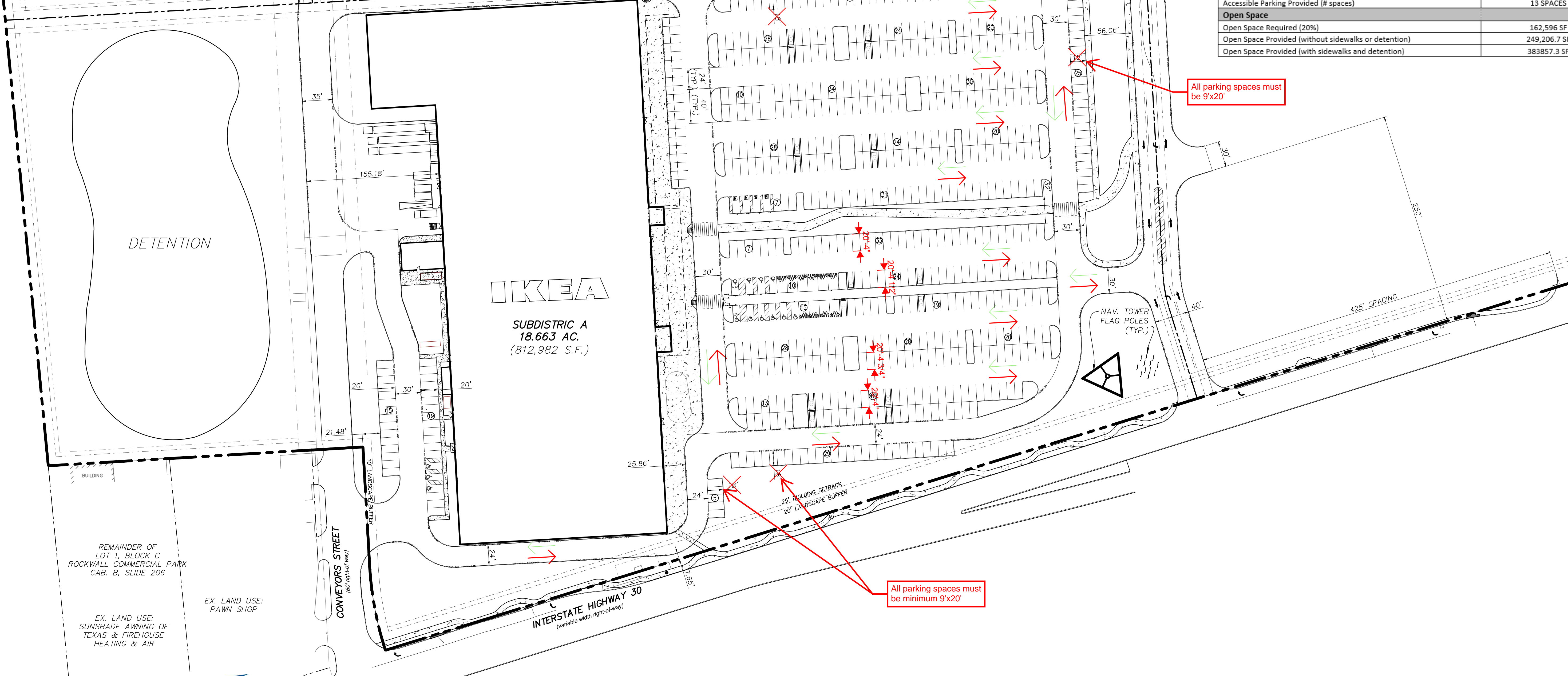
SUBDISTRICT D
10.924 AC.
(475,847 S.F.)



*NOT TO SCALE

EX. LAND USES: VACANT

ROCKWALL 549/1-30
PARTNERS LP
INST. NO. 200700387631
EX. LAND USE: VACANT



All parking spaces must be minimum 9'x20'

All parking spaces must be 9'x20'

All parking spaces must be minimum 9'x20'

General Site Data	Subdistrict A
Zoning	PD [COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN]
Land Use(s)	LARGE FORMAT RETAIL; WAREHOUSE/DISTRIBUTION
Lot Area (square feet & acres)	812,982 SF 18.7 AC
Building Footprint Area (square feet)	161,069 SF
Total Building Area (square feet)	161,069 GSF
Building Height (# stories)	3 STORIES
Building Height (feet - distance to tallest building element)	43'-6"
Lot Coverage (percent - x.xx%)	19.81%
Floor Area Ratio (ratio x.xx:1)	1.01
Residential Density (Units/Acreage)	0 UNITS/ACRE
Multifamily Units	
Total Unit Count	0
Unit Types	0
Residential Density (Units/Net Acreage)	0
Net Acreage = Total acreage minus streets and open space	0
Parking	
Parking Ratio (Proposed)	1 SPACE / 250 SF
Required Parking (# spaces)	645 SPACES
Provided Parking (# spaces)	650 SPACES
Accessible Parking Required (# spaces)	13 SPACES
Accessible Parking Provided (# spaces)	13 SPACES
Open Space	
Open Space Required (20%)	162,596 SF
Open Space Provided (without sidewalks or detention)	249,206.7 SF
Open Space Provided (with sidewalks and detention)	383857.3 SF



ADDRESS:
3030 NOWITZKI WAY
SUITE 400
DALLAS, TX 75219



ADDRESS:
8222 DOUGLAS AVE.
SUITE 390
DALLAS, TX 75225



ADDRESS:
420 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19428



Engineering & Design
ADDRESS:
20700 CIVIC CENTER DR.
SUITE 170
SOUTHFIELD, MI 48076



ADDRESS:
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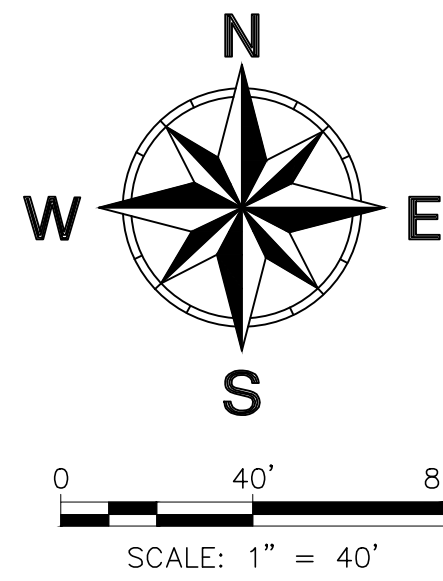
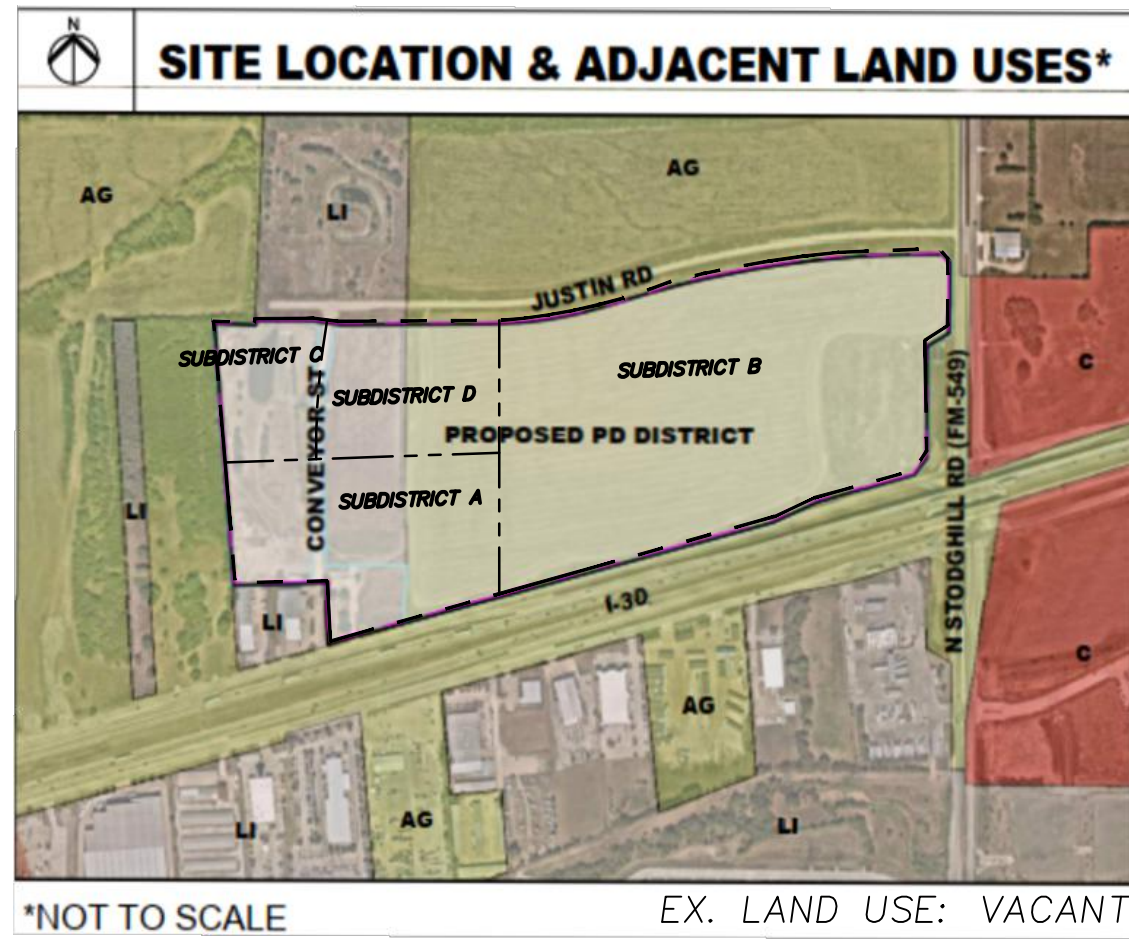


ADDRESS:
6750 HILLCREST PLAZA DR.
SUITE 215
DALLAS, TX 75219

CURRENT OWNERS:
ROCKWALL 549/130 PARTNERS, LP &
CONVEYOR 130 PARTNERS, LP

NOTES:
MINIMUM SIDE & REAR YARD SETBACKS: 10'

EXHIBIT C-2 SUBDISTRICT A DEVELOPMENT PLAN

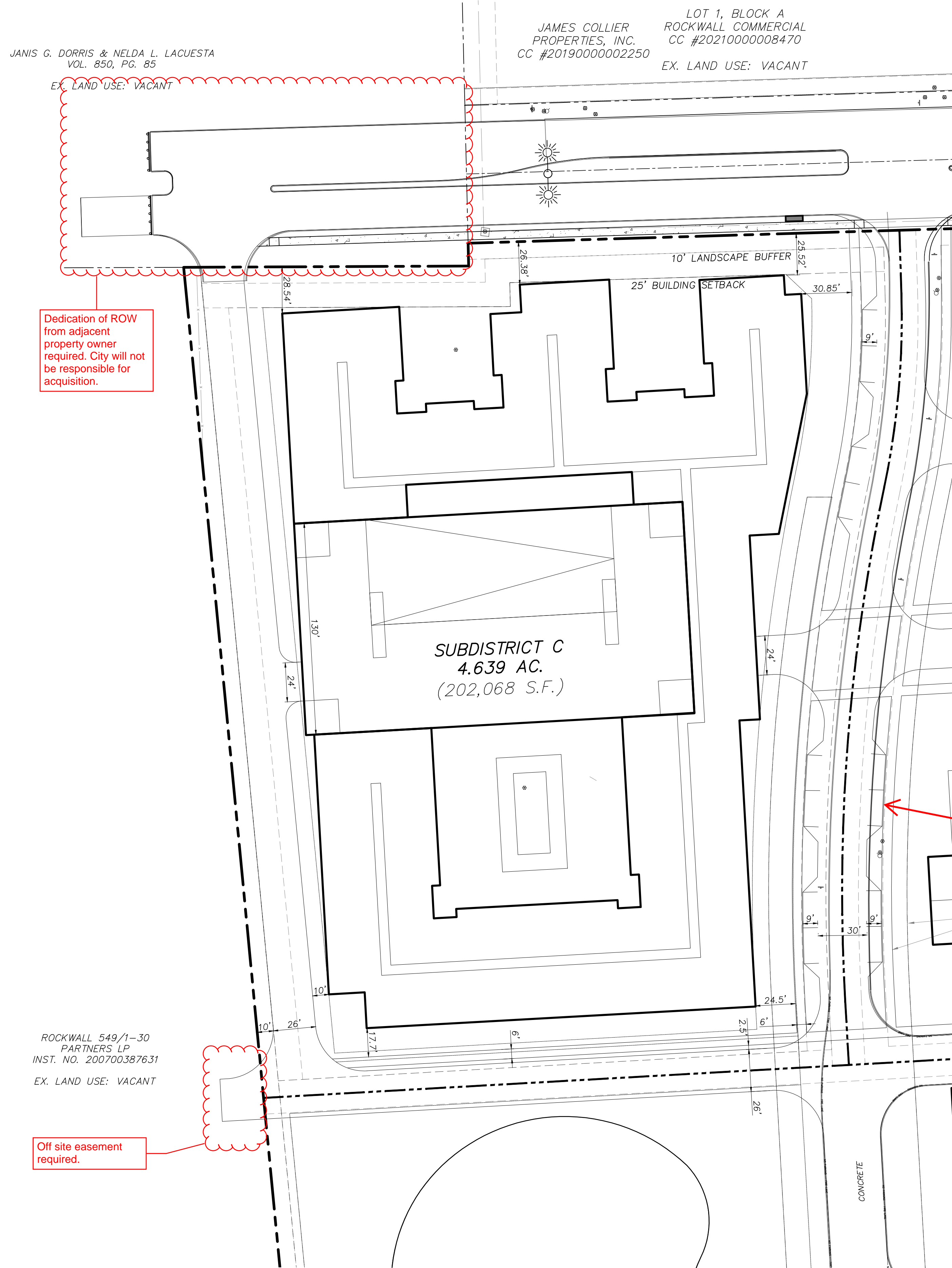


*NOT TO SCALE EX. LAND USE: VACANT

PROPERTY BOUNDARY/R.O.W.

General Site Data	Subdistrict C
Zoning	PD [COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN]
Land Use(s)	MULTIFAMILY (WRAP)
Lot Area (square feet & acres)	202,068 SF 4.64 AC
Building Footprint Area (square feet)	101,624 SF
Total Building Area (square feet)	282,000 GSF
Building Height (# stories)	5 STORIES
Building Height (feet – distance to tallest building element)	65'
Lot Coverage (percent – x.xx%)	50.64%
Floor Area Ratio (ratio x.xx:1)	1.41:1
Residential Density (Units/Acreage)	54 UNITS/ACRE
Multifamily Units	
Total Unit Count	250
Unit Types	225 APARTMENTS, 25 TOWNHOMES
Residential Density (Units/Net Acreage)	23 UNITS/ACRE
Net Acreage = Total acreage minus streets and open space	
Parking	
Parking Ratio (Proposed)	1.5 SPACES / UNIT
Required Parking (# spaces)	375 SPACES
Provided Parking (# spaces)	<u>386 SPACES</u> : 378 GARAGE SPACES, 8 PARALLEL
Accessible Parking Required (# spaces)	8 SPACES
Accessible Parking Provided (# spaces)	8 SPACES
Open Space	
Open Space Required (20%)	40,413.6 SF
Open Space Provided (without sidewalks or detention)	58,238.1 SF
Open Space Provided (with sidewalks and detention)	62,527.2 SF

- NOTES:
- MINIMUM SIDE & REAR YARD SETBACKS: 10'
 - DIMENSIONS ARE TO FACE OF CURB OTHERWISE NOTED.



ROCKWALL HEIGHTS



ADDRESS:
3030 NOWITZKI WAY
SUITE 400
DALLAS, TX 75219



ADDRESS:
8222 DOUGLAS AVE.
SUITE 390
DALLAS, TX 75225



ADDRESS:
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DALLAS, TX 75201



ADDRESS:
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DALLAS, TX 75219

CURRENT OWNERS:
ROCKWALL 549/130 PARTNERS, LP &
CONVEYOR 130 PARTNERS, LP

Job #: 24039 Rockwall, Texas Rockwall Heights // August 08 2024 // Site Analysis

EXHIBIT C-3 SUBDISTRICT C DEVELOPMENT PLAN



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **NORTHWEST CORNER OF FM 3549 AND EAST INTERSTATE 30**

SUBDIVISION **ROCKWALL COMMERCIAL**

LOT

VARIOUS

BLOCK

VARIOUS

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **COMMERCIAL (C)**

CURRENT USE **UNIMPROVED LAND**

PROPOSED ZONING **PLANNED DEVELOPMENT**

PROPOSED USE **MIXED-USE**

ACREAGE **67.475 ACRES**

LOTS [CURRENT] **4**

LOTS [PROPOSED] **TBD**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **ROCKWALL 549/I-30 PARTNERS LP
CONVEYOR I-30 PARTNERS LP**

APPLICANT **JACKSON WALKER LLP**

CONTACT PERSON **JAMES J. MELINO**

CONTACT PERSON **WILLIAM DAHLSTROM & VICTORIA MORRIS**

ADDRESS **8750 N CENTRAL EXPRESSWAY**

ADDRESS **2323 ROSS AVENUE**

SUITE 1735

SUITE 600

CITY, STATE & ZIP **DALLAS, TX 75231**

CITY, STATE & ZIP **DALLAS, TX 75201**

PHONE **(214) 532-3924**

PHONE **(214) 953-5932**

E-MAIL **JIM@CAMBRIDGECOS.COM**

E-MAIL **WDAHLSTROM@JW.COM / VMORRIS@JW.COM**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James J. Melino, Authorized Representative of [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: Rockwall 549/I-30 Partners, LP and Conveyor/I-30 Partners, LP

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF August, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

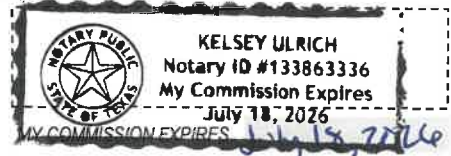
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF August, 2024.

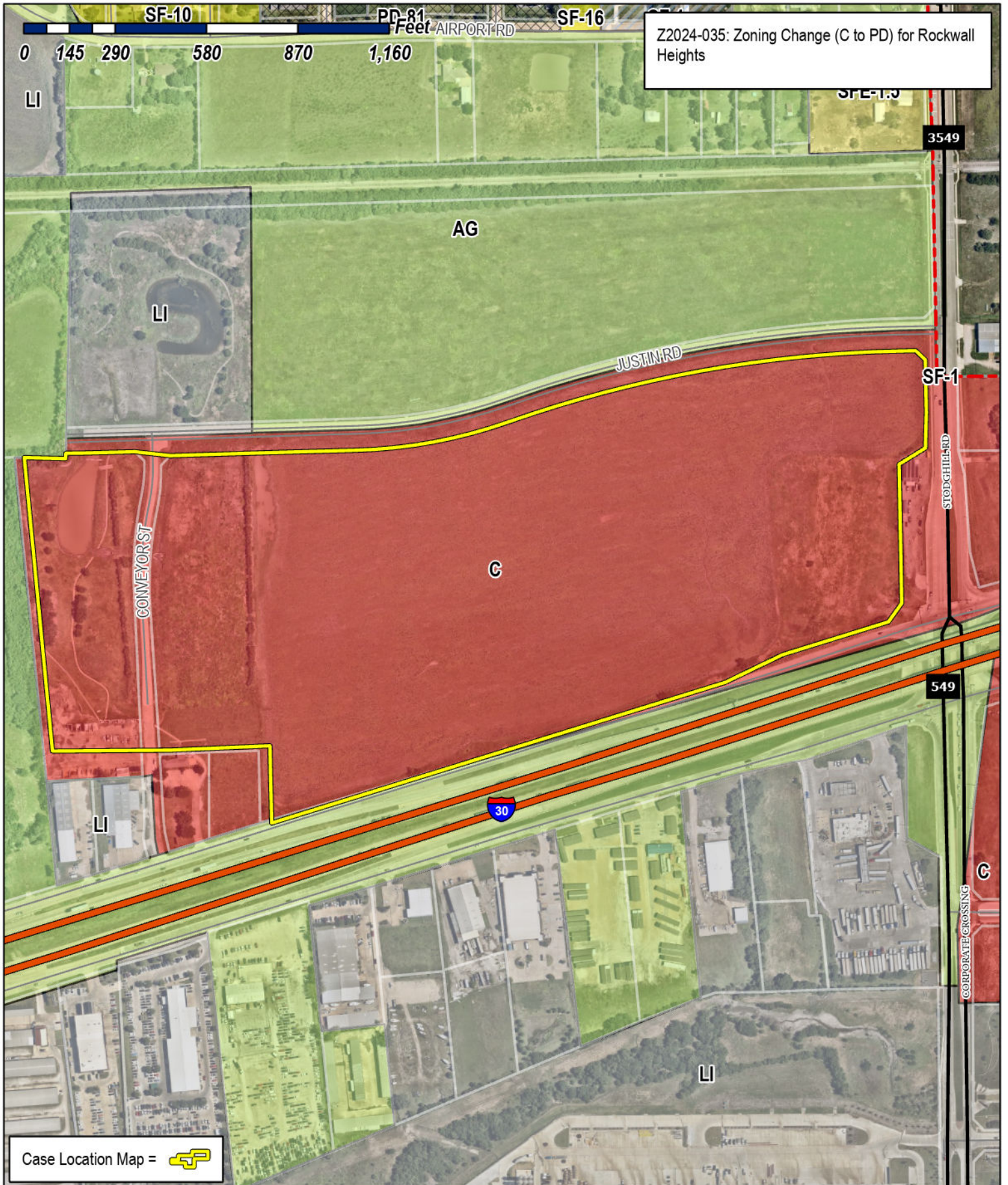
OWNER'S SIGNATURE

By: James J. Melino


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Kelsey Ulrich





Z2024-035: Zoning Change (C to PD) for Rockwall Heights

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

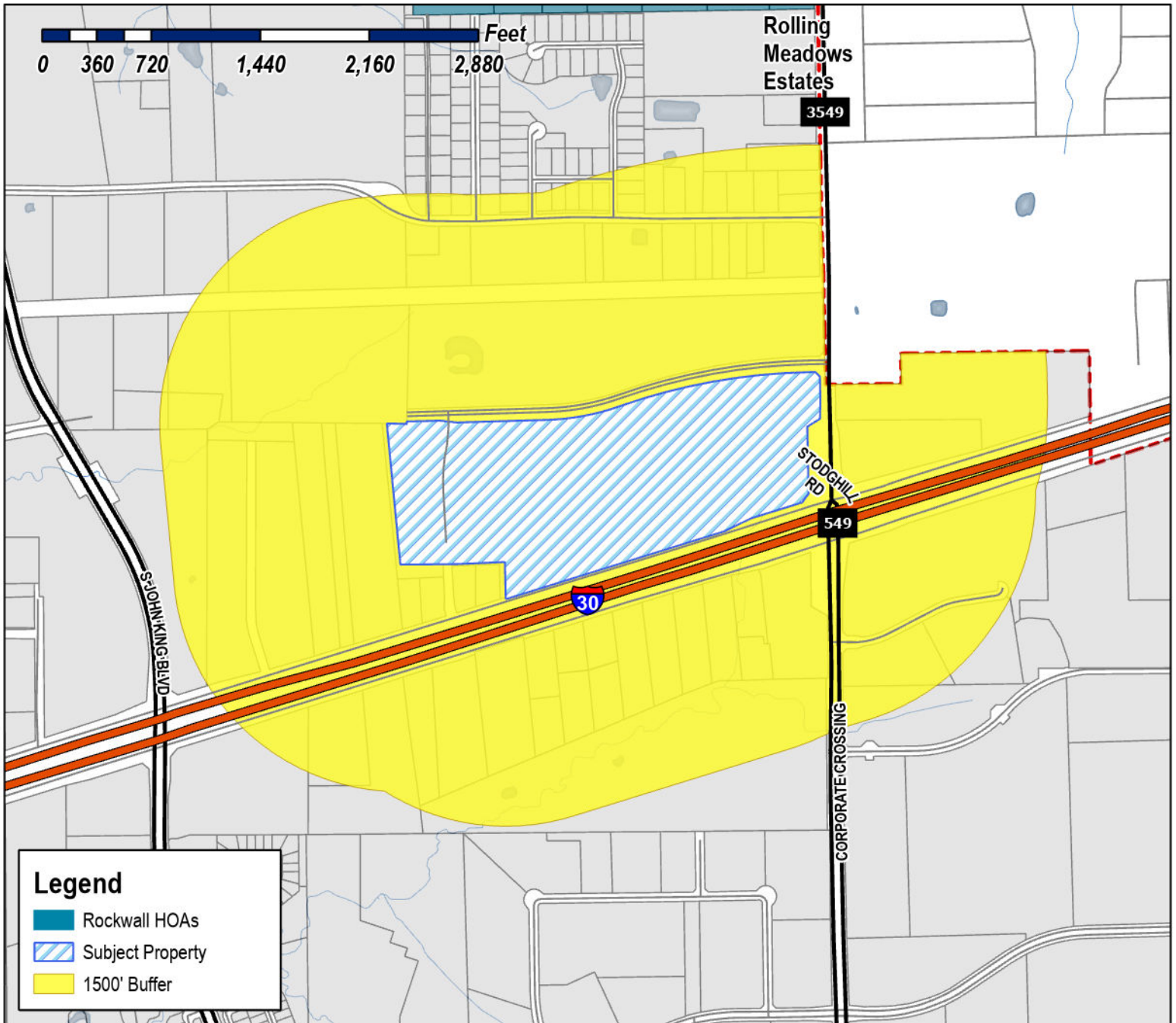




City of Rockwall

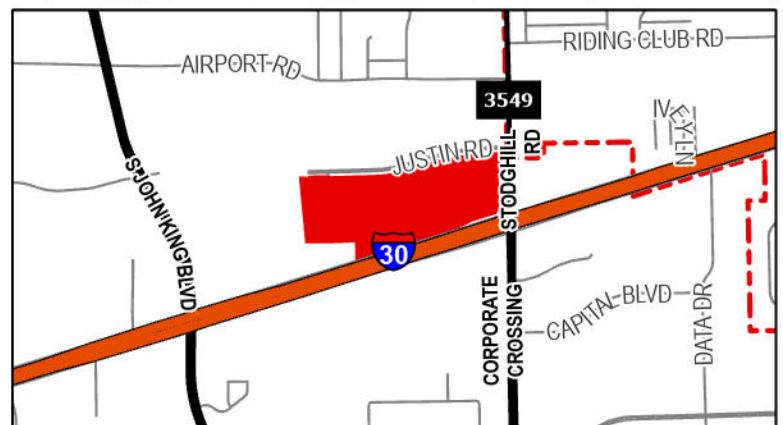
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2024-035
Case Name: Zoning Change from Commercial (C) District to a Planned Development (PD) District
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: NEC of 3549 and E I-30

Date Saved: 8/16/2024
 For Questions on this Case Call (972) 771-7745

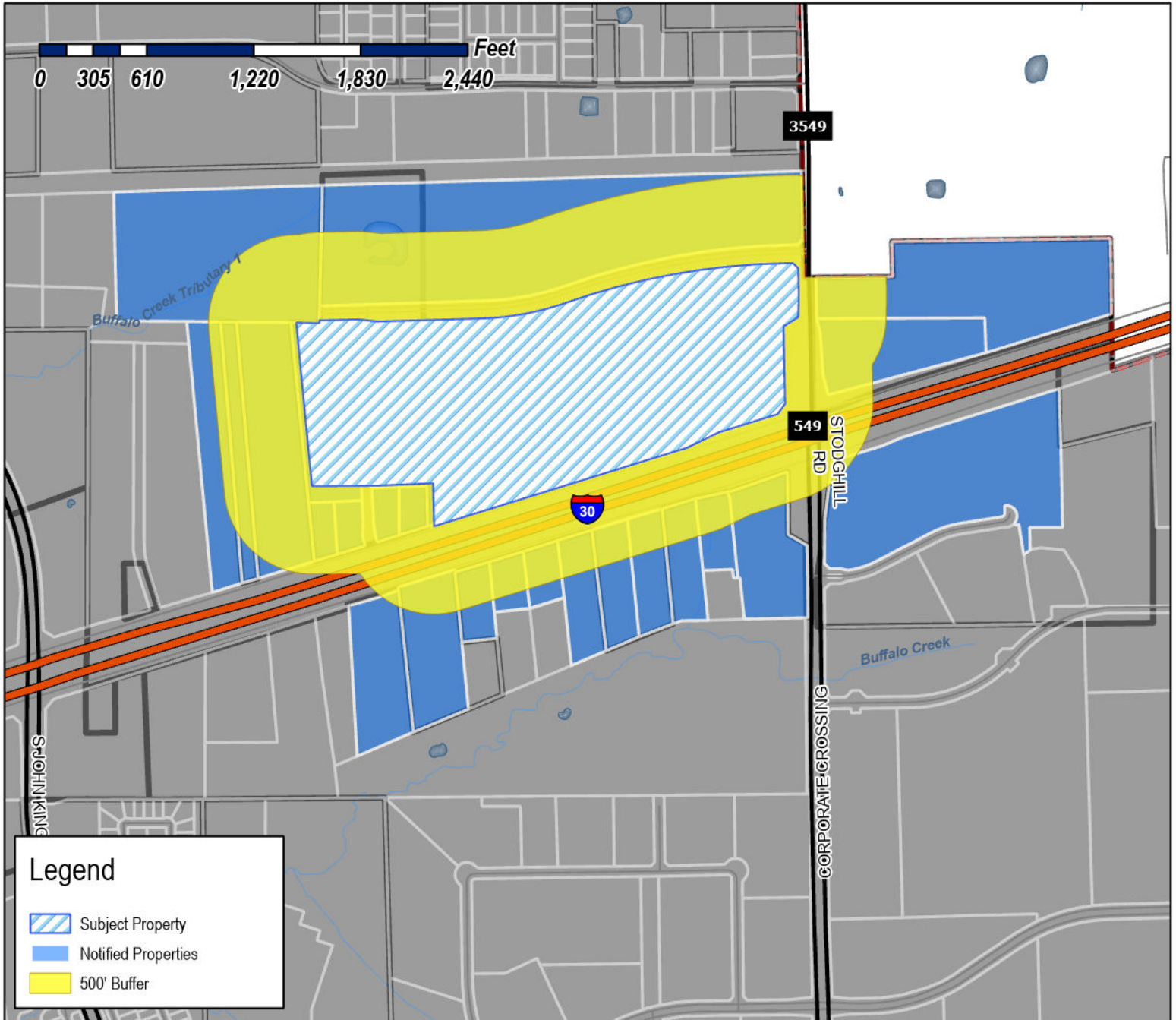




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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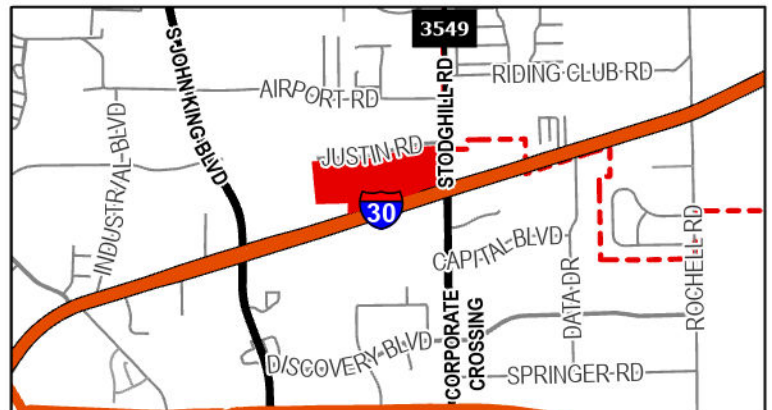
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Case Number: Z2024-035
Case Name: Zoning Change from Commercial (C) District to a Planned Development (PD) District
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: NEC of 3549 and E I-30

Date Saved: 8/16/2024

For Questions on this Case Call: (972) 771-7745



MYASIN INVESTMENTS LLC
11243 SHADY TRL
DALLAS, TX 75229

MHC I30 LP
12001 N CENTRAL EXPRESSWAY SUITE 875
DALLAS, TX 75243

LINE 5 HOLDINGS LP
1201 N RIVERFRONT BLVD SUITE 100
DALLAS, TX 75207

THE STATE OF TEXAS, BY AND THROUGH THE
TEXAS TRANSPORTATION COMMISSION
125 E 11TH STREET
AUSTIN, TX 78701

RAFIZADEH M & M FAMILY LTD
C/O REPUBLIC MOTORSPORTS INC
12707 SOUTHWEST FREEWAY
STAFFORD, TX 77477

PRITCHARD DONNA CULLINS &
KIMBERLY CULLINS COLLICCHIO TRUSTEES
1610 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1785 E I30
ROCKWALL, TX 75087

RESIDENT
1790 E I30
ROCKWALL, TX 75087

RESIDENT
1795 I30
ROCKWALL, TX 75087

RESIDENT
1805 E I30
ROCKWALL, TX 75087

RESIDENT
1810 S I30
ROCKWALL, TX 75087

RESIDENT
1830 I30
ROCKWALL, TX 75087

SELF SCOTT & JANET
1830 E INTERSTATE 30 STE 100
ROCKWALL, TX 75087

RESIDENT
1850 I30
ROCKWALL, TX 75087

GENESTA PARTNERSHIP
1850 E INTERSTATE 30
ROCKWALL, TX 75087

RESIDENT
1860 E I30
ROCKWALL, TX 75087

RESIDENT
1880 I30 RD
ROCKWALL, TX 75087

RESIDENT
1900 E INTERSTATE 30
ROCKWALL, TX 75087

RESIDENT
1960 E I30
ROCKWALL, TX 75087

RESIDENT
1970 I30 SOUTH SERVICE RD
ROCKWALL, TX 75087

RESIDENT
1990 E I30
ROCKWALL, TX 75087

STRUCTURED REA- ROCKWALL LAND LLC
2801 E. CAMELBACK ROAD SUITE 200
PHOENIX, AZ 85016

JAMES COLLIER PROPERTIES INC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

SALEHOUN FAMILY LIMITED PARTNERSHIP
39650 LYNDON B JOHNSON FWY
DALLAS, TX 75237

MIDDLE BROOKS HOLDINGS LLC
513 SAINT MARY ST
ROCKWALL, TX 75087

MOORE MICHAEL F
557 MARIAH BAY DR
HEATH, TX 75032

MOORE MICHAEL F
557 MARIAH BAY DR
HEATH, TX 75032

CAVENDER INVESTMENT PROPERTIES E LTD
7820 SOUTH BROADWAY
TYLER, TX 75703

ROCKWALL 549/I30 PARTNERS LP
8750 N CENTRAL EXPWY SUITE 1735
DALLAS, TX 75231

CONVEYOR I30 PARTNERS LP
8750 N CENTRAL EXPY SUITE 1735
DALLAS, TX 75231

MIRANDA VINOD
9105 BRIARCREST DR
ROWLETT, TX 75088

LOVE'S COUNTRY STORES INC
PO BOX 26210
OKLAHOMA CITY, OK 73126

ROCKWALL AA RE LLC
PO BOX 775
ROYSE CITY, TX 75189

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-035: Zoning Change from C to PD

Hold a public hearing to discuss and consider a request by William S. Dahlstrom of Jackson Walker, LLP on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor 130 Partners, LP for the approval of a Zoning Change from a Commercial (C) District to a Planned Development District for Commercial (C) District land uses on a 67.475-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 10, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-035: Zoning Change from C to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: [Redacted]

Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

William S. Dahlstrom
(214) 953-5932 (Direct Dial)
(214) 661-6616 (Direct Fax)
wdahlstrom@jw.com

August 9, 2024

Mr. Ryan Miller, AICP
Director of Planning
City of Rockwall
385 South Goliad
Rockwall, Texas 75087

Re: Letter of Explanation – Application for Zoning Change and Abandonment of Portion of Conveyor Street – Property Located Near the Northwest Corner of FM 3549 and East Interstate 30.

Dear Mr. Miller:

This request is submitted on behalf of Property Owners, Conveyor I-30 Partners LP and Rockwall 549/I-30 Partners LP, whose contact information is as follows:

Property Owner:

Address: 8750 N Central Expressway, Suite 1735, Dallas, TX 75231

Email: ron@berlininterests.com

Phone: (214) 691-2556

We are submitting this request for a zoning change application for a property located near the northwest corner of FM 3549 and East Interstate 30, consisting of approximately 67.475 acres of land (the “Property”). This request is to change the Property’s zoning from Commercial (C) to a Planned Development (PD) Zoning District.

Enclosed with this request letter please find:

1. A Development Application;
2. Two (2) Letters of Authorization on behalf of the Property Owners;
3. Proposed Planned Development Standards;
4. Planned Development Exhibits;
5. Planned Development Composite Concept/Development Plan Informational Statement;

Mr. Ryan Miller, AICP

August 9, 2024

Page 2

6. A Metes and Bounds Legal Description of Property with Survey Drawings;
7. Letter of Request for Abandonment of Public Right-of-Way;
8. Legal Description and Survey Drawing of Area of Request for Abandonment; and
9. A check made payable to the City of Rockwall for Development Application Fee.

Thank you again for your time and consideration in reviewing this application, and please let me know if you have any questions.

Sincerely,

William S. Dahlstrom

William S. Dahlstrom

William S. Dahlstrom
(214) 953-5932 (Direct Dial)
(214) 661-6616 (Direct Fax)
wdahlstrom@jw.com

August 9, 2024

Mr. Ryan Miller, AICP
Director of Planning
City of Rockwall
385 South Goliad
Rockwall, Texas 75087

Re: *Letter of Request for Partial Abandonment of Conveyor Street – Property Located Near the Northwest Corner of FM 3549 and East Interstate 30.*

Dear Mr. Miller:

This request is submitted on behalf of Property Owners, Conveyor I-30 Partners LP and Rockwall 549/I-30 Partners LP, whose contact information is as follows:

Property Owners:

Address: 8750 N Central Expressway, Suite 1735, Dallas, TX 75231

Email: ron@berlininterests.com

Phone: (214) 691-2556

We are submitting this request for a partial abandonment of Conveyor Street located near the northwest corner of FM 3549 and East Interstate 30, consisting of approximately 1.451 acres of land (the “Abandonment Area”).

Thank you again for your time and consideration in reviewing this application, and please let me know if you have any questions.

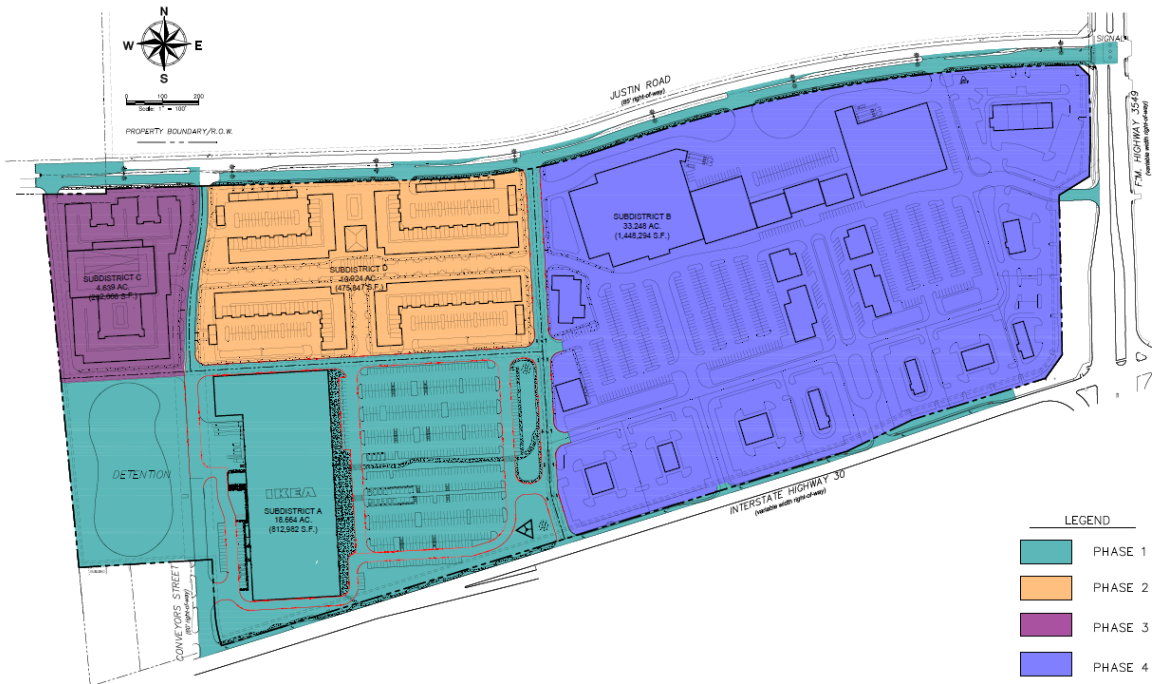
Sincerely,

William S. Dahlstrom

William S. Dahlstrom

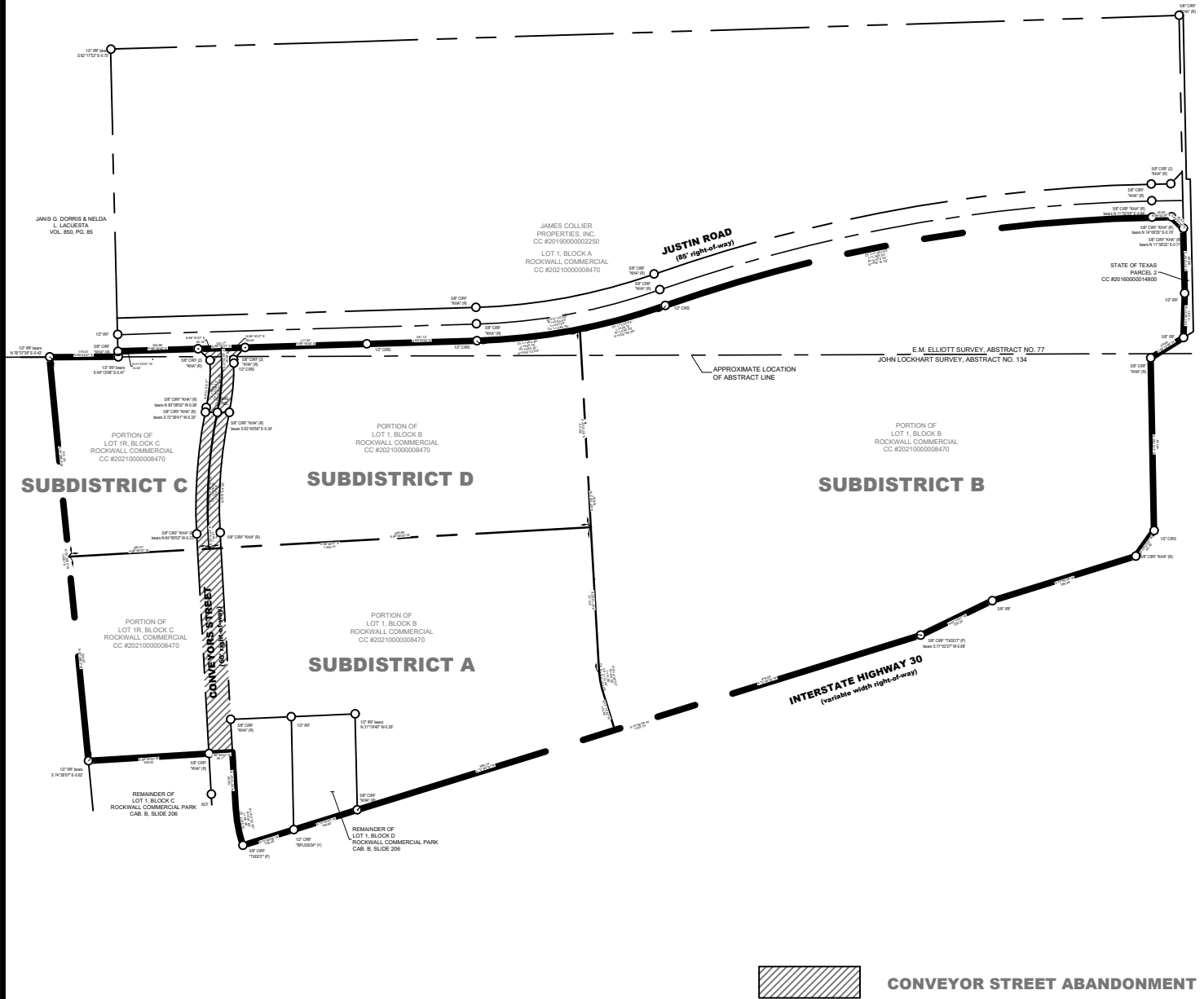
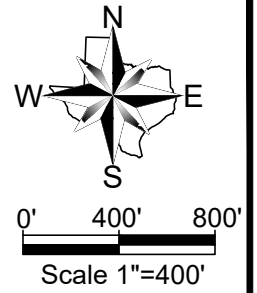
PLANNED DEVELOPMENT CONCEPT/DEVELOPMENT PLAN INFORMATIONAL STATEMENT

The proposed Planned Development District will feature a prominent commercial and retail development, which aligns with the City of Rockwall’s *OURHometown 2040 Vision Comprehensive Plan* (the “Comprehensive Plan”). The Comprehensive Plan identifies this area as an Opportunity Zone within the IH-30 Corridor District, which is a primary retail corridor. Also being within the Strategically Located Property #4 of the IH-30 Corridor District, the Comprehensive Plan notes that “this property is in an ideal location for a large commercial/retail development/regional center.” The proposed development will also include a limited residential use, aligning with the Comprehensive Plan’s description of Special Commercial Corridor which includes Residential as an appropriate secondary use and encompasses this area. The residential component will establish an active and vibrant mixed-use environment consisting of approximately ___ acres. The proposed development will occur in multiple phases, with construction of the first phase of development (identified as “Subdistrict A” on the Composite Concept/Development Plan) anticipated to begin in late 2024 or early 2025. The second, third, and fourth phases of development (identified as “Subdistrict D”, “Subdistrict C”, and “Subdistrict B”, respectively, on the Composite Concept/Development Plan) is anticipated to be developed over the next five (5) years, with the entire development estimated to be complete in 2030. Major capital improvements are anticipated to commence construction in late 2024 or early 2025, which will serve each phase of the development. Included below is the PD Composite Concept/Development Plan, overlaid with the proposed Phasing Plan.



ROCKWALL HEIGHTS
GFFdesign PegasusAblon **IKEA** Colliers Engineering & Design JW Jackson Walker Winkelmann & Associates, Inc.

EXHIBIT F
PHASING PLAN
 Job #: 24039 Rockwall, Texas Rockwall Heights // August 09, 2024 // Site Analysis



 CONVEYOR STREET ABANDONMENT



**Winkelmann
& Associates, Inc.**

CONSULTING CIVIL ENGINEERS ■ SURVEYORS
6750 HILLCREST PLAZA DRIVE, SUITE 215 (972) 490-7090
DALLAS, TEXAS 75230 (972) 490-7099 FAX

Texas Engineers Registration No. 89
Texas Surveyors No. 10086600 Expires 12-31-2024
COPYRIGHT © 2024, Winkelmann & Associates, Inc.

Scale : 1:400

Date : 08.06.24

Dwg. File : 63406-Exhibit B

Project No. : 63406

EXHIBIT B SURVEY

PROPERTY BOUNDARY
67.475 ACRES
(2,939,199 SQ. FT.)

SHEET

**1
OF
1**

**EXHIBIT A-1
COMPOSITE LEGAL DESCRIPTION**

**STATE OF TEXAS §
COUNTY OF ROCKWALL §**

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being all of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), a portion of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, P.R.R.C.T., and the remainder of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, P.R.R.C.T., and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found for corner;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point for corner from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 1,507.74 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found for corner;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point for corner;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point for corner;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/I-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 1,036.76 feet to a point for corner from which a 1/2-inch iron rod found bears North 78 deg 37 min 38 sec East, a distance of 0.42 feet;

THENCE North 89 deg 44 min 47 sec East, along the common line of said Lot 1R, Block C, and a tract of land as described in deed to Janis G. Dorris & Nelda L. Lacuesta, recorded in Volume 850, Page 85, O.P.R.R.C.T., a distance of 175.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 49 deg 13 min 08 sec East, a distance of 0.47 feet;

THENCE North 01 deg 22 min 01 sec West, continuing along said common line, a distance of 14.02 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found

for a Northeast corner of said Lot 1R, Block C, and a Southeast corner of said Janis G. Dorris & Nelda L. Lacuesta tract;

THENCE North 88 deg 16 min 40 sec East, departing said common line and along the North line of said Lot 1R, Block C, and the South right-of-way line of Justin Road, an 85-foot right-of-way, a distance of 204.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Northerly corner of said Lot 1R, Block C;

THENCE North 88 deg 16 min 27 sec East, departing the North line of said Lot 1R, Block C, and over and across the right-of-way of said Justin Road and said Conveyors Street, a distance of 120.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northwest corner of said Lot 1, Block B;

THENCE along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, the following:

North 88 deg 16 min 40 sec East, a distance of 311.50 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner;

North 88 deg 25 min 20 sec East, a distance of 281.12 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the left having a radius of 1,592.50 feet, a central angle of 17 deg 40 min 38 sec, a chord bearing of North 79 deg 26 min 21 sec East, and a chord length of 489.38 feet;

Along said curve to the left, an arc distance of 491.33 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the right having a radius of 3,979.40 feet, a central angle of 18 deg 16 min 32 sec, a chord bearing of North 79 deg 44 min 18 sec East, and a chord length of 1,263.93 feet;

Along said curve to the right, an arc distance of 1,269.30 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 52 min 09 sec East, a distance of 0.84 feet;

North 88 deg 52 min 34 sec East, a distance of 49.83 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 14 deg 09 min 55 sec East, a distance of 0.76 feet, said point being the most Northerly Northeast corner of said Lot 1, Block B, and the Northeast corner of a corner clip, and being situated in the West right-of-way line of said F.M. Highway 3549;

THENCE South 46 deg 07 min 44 sec East, continuing along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, and along the West right-of-way line of said F.M. Highway 3549, and said corner clip, a distance of 42.43 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 58 min 22 sec East, a distance of 0.71 feet, said point being a North corner of said Lot 1, Block B, and the Southeast corner of said corner clip;

THENCE, departing the South right-of-way line of said Justin Road, the North line of said Lot 1, Block B, and said corner clip, continuing along the West right-of-way line of said F.M. Highway 3549 and along the East line of said Lot 1, Block B, the following:

South 01 deg 13 min 54 sec East, a distance of 165.08 feet to a 1/2-inch iron rod found for corner;

South 01 deg 26 min 27 sec West, a distance of 113.61 feet to a 5/8-inch iron rod found for corner;

South 58 deg 12 min 56 sec West, a distance of 98.69 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 01 deg 07 min 09 sec East, a distance of 441.34 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" for corner, said iron rod being situated in the North right-of-way line of said Interstate Highway 30, and being the Northeast corner of a corner clip;

THENCE South 35 deg 33 min 35 sec West, continuing along the West right-of-way line of said F.M. Highway 3549, and along said corner clip, a distance of 80.25 feet to the POINT OF BEGINNING.

CONTAINING 67.475 acres or 2,939,199 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

**EXHIBIT A-2
SUBDISTRICT A LEGAL DESCRIPTION**

**STATE OF TEXAS §
COUNTY OF ROCKWALL §**

BEING a tract of land situated in the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 2021000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), a portion of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 2021000008470, P.R.R.C.T., and the remainder of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, P.R.R.C.T., and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

COMMENCING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 818.60 feet to a point for corner, said point being the POINT OF BEGINNING;

South 72 deg 46 min 18 sec West, a distance of 689.14 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found for corner;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point for corner;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point for corner;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/I-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 524.43 feet to a point for corner;

THENCE departing said common line and over and across said Lot 1R, Block C, and said Lot 1, Block B, the following:

North 86 deg 46 min 37 sec East, a distance of 1,336.70 feet to a point for corner;

South 03 deg 13 min 23 sec East, a distance of 372.72 feet to a point for corner and being the beginning of a curve to the left having a radius of 170.00 feet, a central angle of 14 deg 00 min 30 sec, a chord bearing of South 10 deg 13 min 37 sec East, and a chord length of 41.46 feet;

Along said curve to the left, an arc distance of 41.56 feet to a point for corner;
South 17 deg 13 min 42 sec East, a distance of 110.45 feet to the POINT OF
BEGINNING.

CONTAINING 18.664 acres or 812,982 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

EXHIBIT A-3
SUBDISTRICT B LEGAL DESCRIPTION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found for corner;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point for corner from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 818.60 feet to a point for corner;

THENCE departing the North right-of-way line of said Interstate Highway 30, and the South line of said Lot 1, Block B, and over and across said Lot 1, Block B, the following:

North 17 deg 13 min 42 sec West, a distance of 110.45 feet to a point for corner, and being the beginning of a curve to the right having a radius of 170.00 feet, a central angle of 14 deg 00 min 30 sec, a chord bearing of North 10 deg 13 min 37 sec West, and a chord length of 41.46 feet;

Along said curve to the right, an arc distance of 41.56 feet to a point for corner;

North 03 deg 13 min 23 sec West, a distance of 879.97 feet to a point for corner, said point being situated in the North line of said Lot 1, Block B, and the South right-of-way line of Justin Road, an 85-foot right-of-way, said point being the beginning of a curve to the left having a radius of 1,592.50 feet, a central angle of 08 deg 08 min 09 sec, a chord bearing of North 74 deg 40 min 07 sec East, and a chord length of 225.94 feet;

THENCE along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, the following:

Along said curve to the left, an arc distance of 226.13 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the right having a radius of 3,979.40 feet, a central angle of 18 deg 16 min 32 sec, a chord bearing of North 79 deg 44 min 18 sec East, and a chord length of 1,263.93 feet;

Along said curve to the right, an arc distance of 1,269.30 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 52 min 09 sec East, a distance of 0.84 feet;

North 88 deg 52 min 34 sec East, a distance of 49.83 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 14 deg 09 min 55 sec East, a distance of 0.76 feet, said point being the most Northerly Northeast corner of said Lot 1, Block B, and the Northeast corner of a corner clip, and being situated in the West right-of-way line of said F.M. Highway 3549;

THENCE South 46 deg 07 min 44 sec East, continuing along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, and along the West right-of-way line of said F.M. Highway 3549, and said corner clip, a distance of 42.43 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 58 min 22 sec East, a distance of 0.71 feet, said point being a North corner of said Lot 1, Block B, and the Southeast corner of said corner clip;

THENCE, departing the South right-of-way line of said Justin Road, the North line of said Lot 1, Block B, and said corner clip, continuing along the West right-of-way line of said F.M. Highway 3549 and along the East line of said Lot 1, Block B, the following:

South 01 deg 13 min 54 sec East, a distance of 165.08 feet to a 1/2-inch iron rod found for corner;

South 01 deg 26 min 27 sec West, a distance of 113.61 feet to a 5/8-inch iron rod found for corner;

South 58 deg 12 min 56 sec West, a distance of 98.69 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 01 deg 07 min 09 sec East, a distance of 441.34 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" for corner, said iron rod being situated in the North right-of-way line of said Interstate Highway 30, and being the Northeast corner of a corner clip;

THENCE South 35 deg 33 min 35 sec West, continuing along the West right-of-way line of said F.M. Highway 3549, and along said corner clip, a distance of 80.25 feet to the POINT OF BEGINNING.

CONTAINING 33.248 acres or 1,448,294 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

EXHIBIT A-4
SUBDISTRICT C LEGAL DESCRIPTION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 2021000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

COMMENCING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 1,507.74 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a

radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/I-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 524.43 feet to a point for corner, said point being the POINT OF BEGINNING;

THENCE North 05 deg 29 min 52 sec West, continuing along the common line of said Lot 1R, Block C, and said Rockwall 549/I-30 Partners LP tract, a distance of 512.33 feet to a point for corner from which a 1/2-inch iron rod found bears North 78 deg 37 min 38 sec East, a distance of 0.42 feet;

THENCE North 89 deg 44 min 47 sec East, along the common line of said Lot 1R, Block C, and a tract of land as described in deed to Janis G. Dorris & Nelda L. Lacuesta, recorded in Volume 850, Page 85, O.P.R.R.C.T., a distance of 175.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 49 deg 13 min 08 sec East, a distance of 0.47 feet;

THENCE North 01 deg 22 min 01 sec West, continuing along said common line, a distance of 14.02 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northeast corner of said Lot 1R, Block C, and a Southeast corner of said Janis G. Dorris & Nelda L. Lacuesta tract;

THENCE North 88 deg 16 min 40 sec East, departing said common line and along the North line of said Lot 1R, Block C, and the South right-of-way line of Justin Road, an 85-

foot right-of-way, a distance of 204.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Northerly corner of said Lot 1R, Block C;

THENCE North 88 deg 16 min 27 sec East, departing the North line of said Lot 1R, Block C, and over and across the right-of-way of said Justin Road and said Conveyors Street, a distance of 60.16 feet to a point for corner situated in the approximate centerline of said Conveyors Street;

THENCE along the approximate centerline of said Conveyors Street and over and across said Lot 1R, Block C, the following:

South 01 deg 43 min 20 sec East, a distance of 39.59 feet to a point for corner, and being the beginning of a curve to the right having a radius of 500.00 feet, a central angle of 13 deg 38 min 17 sec, a chord bearing of South 05 deg 05 min 49 sec West, and a chord length of 118.73 feet;

Along said curve to the right, an arc distance of 119.01 feet to a point for corner, and being the beginning of a curve to the left having a radius of 1,199.92 feet, a central angle of 15 deg 08 min 20 sec, a chord bearing of South 04 deg 20 min 47 sec West, and a chord length of 316.12 feet;

Along said curve to the left, an arc distance of 317.05 feet to a point for corner;

South 03 deg 13 min 23 sec East, a distance of 39.51 feet to a point for corner;

South 86 deg 46 min 37 sec West, a distance of 360.01 feet to the POINT OF BEGINNING.

CONTAINING 4.639 acres or 202,068 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

EXHIBIT A-5
SUBDISTRICT D LEGAL DESCRIPTION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and a portion of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

COMMENCING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 1,507.74 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a

radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/I-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 1,036.76 feet to a point from which a 1/2-inch iron rod found bears North 78 deg 37 min 38 sec East, a distance of 0.42 feet;

THENCE North 89 deg 44 min 47 sec East, along the common line of said Lot 1R, Block C, and a tract of land as described in deed to Janis G. Dorris & Nelda L. Lacuesta, recorded in Volume 850, Page 85, O.P.R.R.C.T., a distance of 175.03 feet to a point from which a 1/2-inch iron rod found bears South 49 deg 13 min 08 sec East, a distance of 0.47 feet;

THENCE North 01 deg 22 min 01 sec West, continuing along said common line, a distance of 14.02 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northeast corner of said Lot 1R, Block C, and a Southeast corner of said Janis G. Dorris & Nelda L. Lacuesta tract;

THENCE North 88 deg 16 min 40 sec East, departing said common line and along the North line of said Lot 1R, Block C, and the South right-of-way line of Justin Road, an 85-foot right-of-way, a distance of 204.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Northerly corner of said Lot 1R, Block C;

THENCE North 88 deg 16 min 27 sec East, departing the North line of said Lot 1R, Block C, and over and across the right-of-way of said Justin Road and said Conveyors Street, a distance of 60.16 feet to a point for corner situated in the approximate centerline of said Conveyors Street, said being the POINT OF BEGINNING;

THENCE North 88 deg 16 min 27 sec East, departing the approximate centerline and over and across said Conveyors Street, a distance of 60.00 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northwest corner of said Lot 1, Block B;

THENCE along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, the following:

North 88 deg 16 min 40 sec East, a distance of 311.50 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner;

North 88 deg 25 min 20 sec East, a distance of 281.12 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the left having a radius of 1,592.50 feet, a central angle of 09 deg 32 min 29 sec, a chord bearing of North 83 deg 30 min 26 sec East, and a chord length of 264.89 feet;

Along said curve to the left, an arc distance of 265.19 feet to a point for corner;

THENCE departing the North line of said Lot 1, Block B, and the South right-of-way of said Justin Road, and over and across said Lot 1, Block B, the following:

South 03 deg 13 min 23 sec East, a distance of 507.25 feet to a point for corner;

South 86 deg 46 min 37 sec West, a distance of 976.69 feet to a point for corner situated in the approximate centerline of said Conveyors Street;

THENCE along the approximate centerline of said Conveyors Street, the following:

North 03 deg 13 min 23 sec West, a distance of 39.51 feet to a point for corner and being the beginning of a curve to the right having a radius of 1,199.92 feet, a central angle of 15 deg 08 min 20 sec, a chord bearing of North 04 deg 20 min 47 sec East, and a chord length of 316.12 feet;

Along said curve to the right, an arc distance of 317.05 feet to a point for corner and being the beginning of a curve to the left having a radius of 500.00 feet, a central angle of 13 deg 38 min 17 sec, a chord bearing of North 05 deg 05 min 49 sec East, and a chord length of 118.73 feet;

Along said curve to the left, an arc distance of 119.01 feet to a point for corner;

North 01 deg 43 min 20 sec West, a distance of 39.59 feet to the POINT OF BEGINNING.

CONTAINING 10.924 acres or 475,847 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

TRACT 4: CONVEYOR STREET (TO BE ABANDONED):

BEING a tract of land situated in the E.M. Elliot Survey, Abstract No. 77, and the John Lockhart, Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, and being a portion of Conveyors Street (60' wide public right-of-way)(Cabinet B, Slide 206, Plat Records, Rockwall County, Texas) and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the northernmost northwest corner of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 20210000008470, said Plat Records, common to the north corner of a corner clip at the intersection of the southerly right-of-way line of Justin Road (85' wide public right-of-way)(Instrument No. 20210000008470, said Plat Records) and the easterly right-of-way line of said Conveyors Street;

THENCE South 43°16'40" West, with said corner clip, a distance of 42.43 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the south corner of said corner clip;

THENCE with the common line of said Lot 1, Block B and said Conveyors Street the following courses and distances:

South 01°43'20" East, a distance of 9.59 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 530.00 feet, a central angle of 13°38'17", and a chord bearing and distance of South 05°05'50" West, 125.86 feet;

In a southerly direction, with said tangent curve to the right, an arc distance of 126.15 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a reverse curve to the left with a radius of 1,170.00 feet, a central angle of 15°08'16", and a chord bearing and distance of South 04°20'45" West, 308.22 feet;

In a southerly direction, with said reverse curve to the left, an arc distance of 309.12 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 03°13'23" East, passing at a distance of 478.23 feet a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the westernmost southwest corner of said Lot 1, Block B, and continuing along the same course and with the common line of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, said Plat Records, for a total distance of 562.44 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

THENCE South 86°46'37" West, departing said common line and crossing said Conveyors Street, a distance of 60.00 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the southeast corner of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 20210000008470, said Plat Records, same being the northeast corner of a tract of land described in a deed to Donna Cullins Pritchard and Kimberly Cullins Collichio, recorded in Volume 7346, Page 158, Real Property Records, Rockwall County, Texas;

THENCE with the common line of said Lot 1R, Block C and said Conveyors Street the following courses and distances:

North 03°13'23" West, a distance of 562.44 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 1,230.00 feet, a central angle of 15°08'16", and a chord bearing and distance of North 04°20'47" East, 324.03 feet;

**EXHIBIT A
RIGHT-OF-WAY ABANDONMENT
1.451 ACRES
E.M. ELLIOT SURVEY, A-77 &
JOHN LOCKHART SURVEY, A-134
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS**

MICHAEL MARX
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5181
6160 WARREN PKWY., SUITE 210
FRISCO, TEXAS 75034
PH. 972-335-3580
michael.marx@kimley-horn.com

Kimley»Horn		6160 Warren Parkway, Suite 210 Frisco, Texas 75034		FIRM # 10193822		Tel. No. (972) 335-3580 Fax No. (972) 335-3779	
		Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	JMH	KHA	Jan. 2024	063942002	1 OF 3		

HOEFNER, JOHN 1/17/2024 11:31 AM K:\FRI_SURVEY\063942002-ROCKWALL COMMERCIAL BLOCK B LOT 1 - ROCKWALL\DWG\063942002 CONVEYORS ABND EX.DWG

In a northerly direction, with said tangent curve to the right, an arc distance of 324.97 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a reverse curve to the left with a radius of 470.00 feet, a central angle of 13°38'17", and a chord bearing and distance of North 05°05'49" East, 111.61 feet;

In a northerly direction, with said reverse curve to the left, an arc distance of 111.87 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

North 01°43'20" West, a distance of 9.59 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the easternmost northeast corner of said Lot 1R, Block C, common to the south corner of a corner clip at the intersection of the westerly right-of-way line of said Lot 1R, Block C and the southerly right-of-way line of said Justin Road;

THENCE North 46°43'20" West, along said corner clip, a distance of 42.43 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the northernmost northeast corner of said Lot 1R, Block C, common to the north corner of said corner clip;

THENCE North 88°16'40" East, crossing said Conveyors Street, a distance of 120.00 feet to the **POINT OF BEGINNING** and containing 63,187 square feet or 1.451 acres of land, more or less.

EXHIBIT A
RIGHT-OF-WAY ABANDONMENT
1.451 ACRES
E. M. ELLIOT SURVEY, A-77 &
JOHN LOCKHART SURVEY, A-134
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

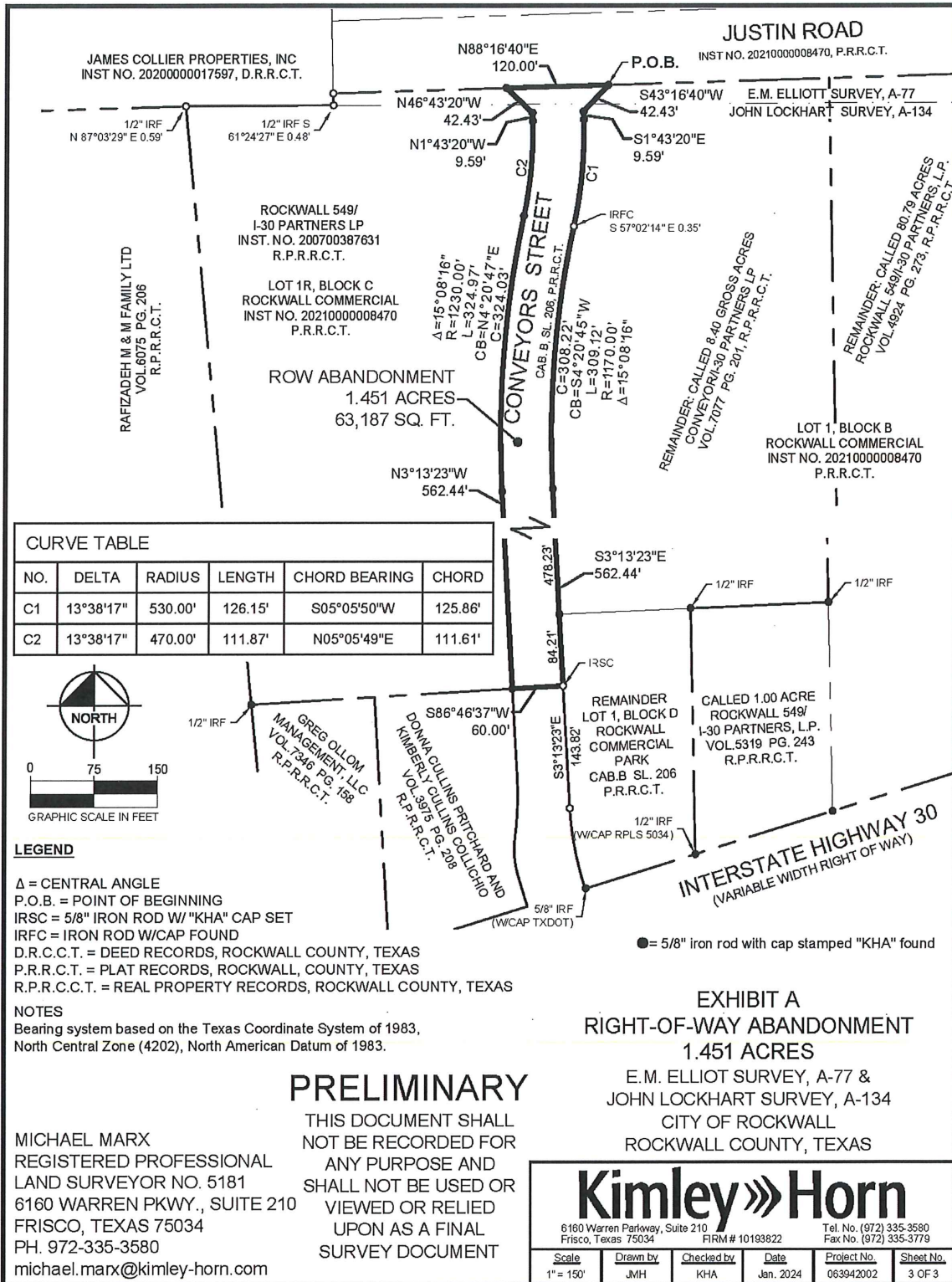
PRELIMINARY

THIS DOCUMENT SHALL
NOT BE RECORDED FOR
ANY PURPOSE AND
SHALL NOT BE USED OR
VIEWED OR RELIED
UPON AS A FINAL
SURVEY DOCUMENT

MICHAEL MARX
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5181
6160 WARREN PKWY., SUITE 210
FRISCO, TEXAS 75034
PH. 972-335-3580
michael.marx@kimley-horn.com

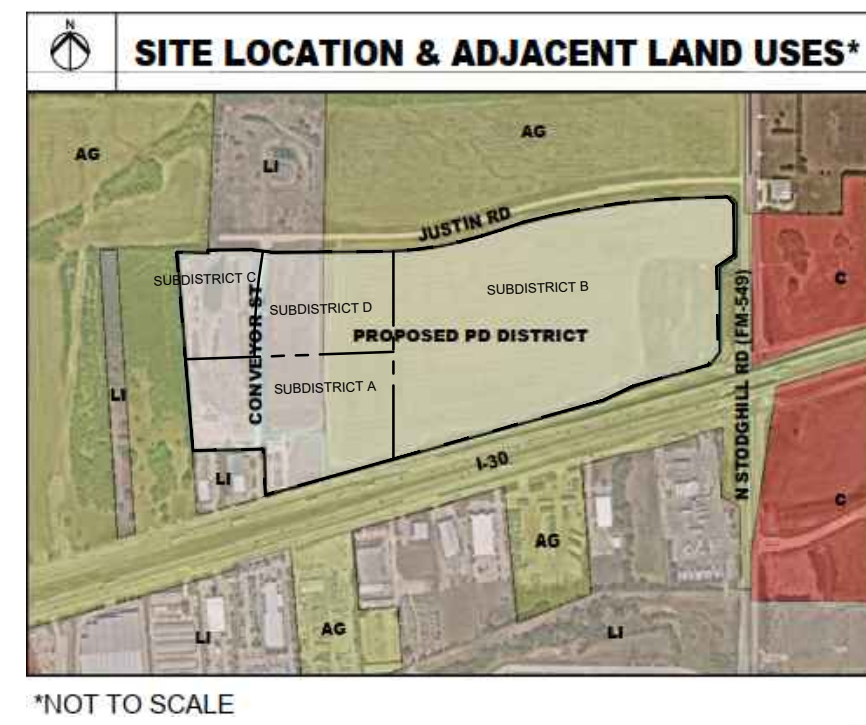
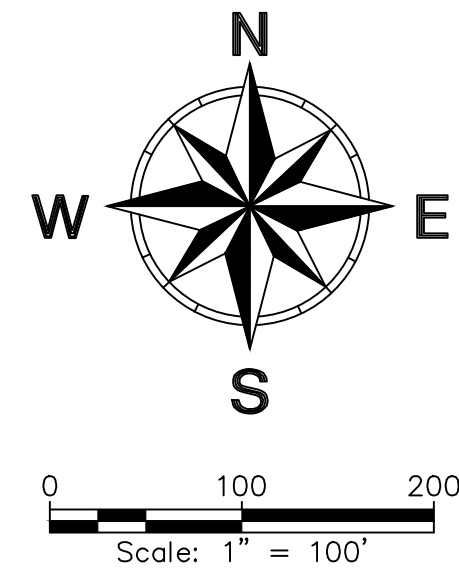
Kimley»Horn					
6160 Warren Parkway, Suite 210 Frisco, Texas 75034		FIRM # 10193822		Tel. No. (972) 335-3580 Fax No. (972) 335-3779	
<u>Scale</u>	<u>Drawn by</u>	<u>Checked by</u>	<u>Date</u>	<u>Project No.</u>	<u>Sheet No.</u>
N/A	JMH	KHA	Jan. 2024	063942002	2 OF 3

HOEFNER, JOHN 1/17/2024 11:31 AM K\FRI_SURVEY\063942002-ROCKWALL COMMERCIAL BLOCK B LOT 1 - ROCKWALL\DWG\063942002 CONVEYORS ABND EX.DWG



HOEFNER JOHN 1/17/2024 11:32 AM K\FRI SURVEY\063942002-ROCKWALL COMMERCIAL BLOCK B LOT 1 - ROCKWALL\DWG\063942002 CONVEYORS ABND EX DWG





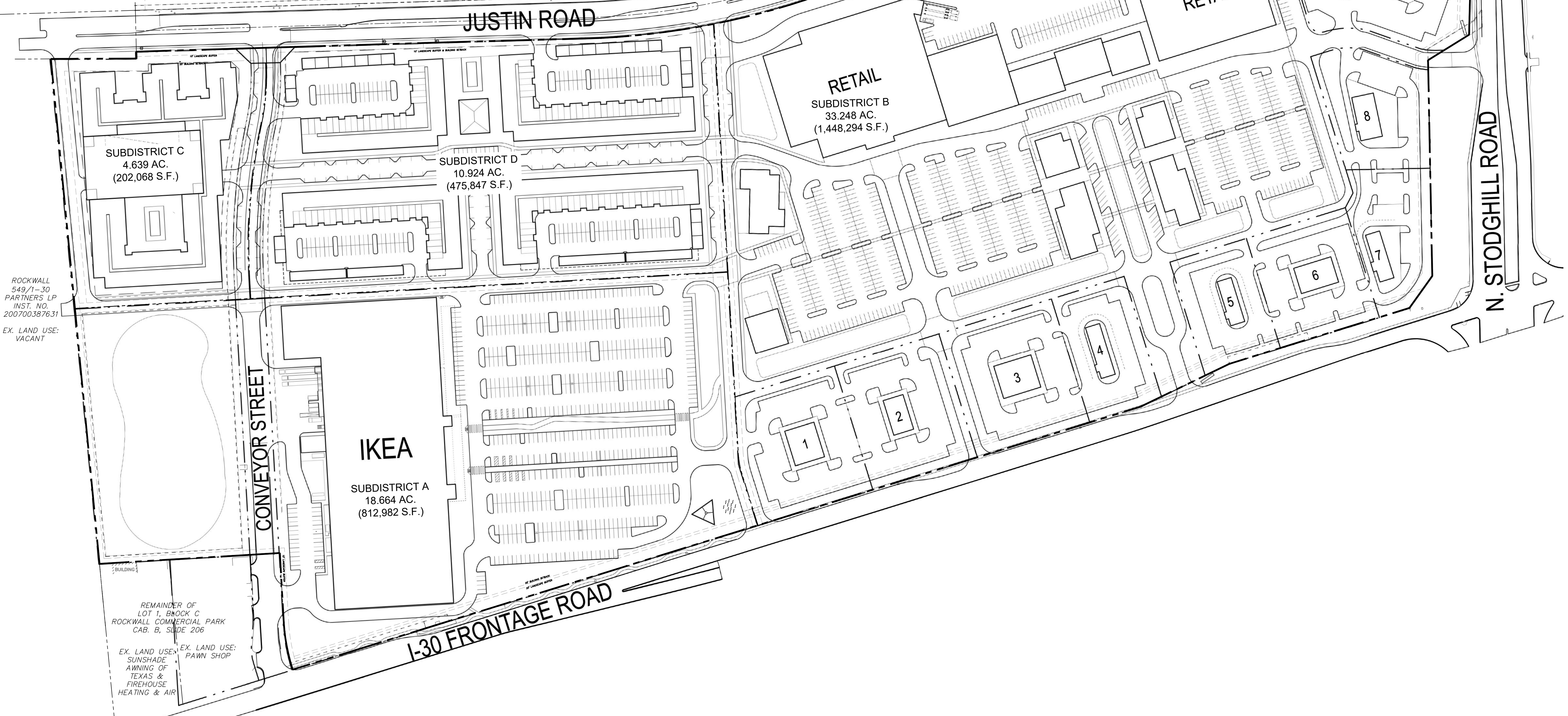
JAMES COLLIER
PROPERTIES, INC.
CC #2019000002250

LOT 1, BLOCK A
ROCKWALL COMMERCIAL
CC #2021000008470

EX. LAND USE: VACANT

JANIS G. DORRIS & NELDA L.
LACUESTA
VOL. 850, PG. 85
EX. LAND USE: VACANT

PROPERTY BOUNDARY/R.O.W.



ROCKWALL
549/1-30
PARTNERS LP
INST. NO.
200700387631
EX. LAND USE:
VACANT

REMAINDER OF
LOT 1, BLOCK C
ROCKWALL COMMERCIAL PARK
CAB. B, SLIDE 206

EX. LAND USE:
SUNSHADE
AWNING OF
TEXAS &
FIREHOUSE
HEATING & AIR

ROCKWALL HEIGHTS
GFFdesign

ADDRESS:
3030 NOWITZKI WAY
SUITE 400
DALLAS, TX 75219

PegasusAblon

ADDRESS:
8222 DOUGLAS AVE.
SUITE 390
DALLAS, TX 75225



ADDRESS:
420 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19428



Engineering
& Design
ADDRESS:
20700 CIVIC CENTER DR.
SUITE 170
SOUTHFIELD, MI 48076



ADDRESS:
2323 ROSS AVE.
6TH FLOOR
DALLAS, TX 75201



ADDRESS:
6750 HILLCREST PLAZA DR.
SUITE 215
DALLAS, TX 75219

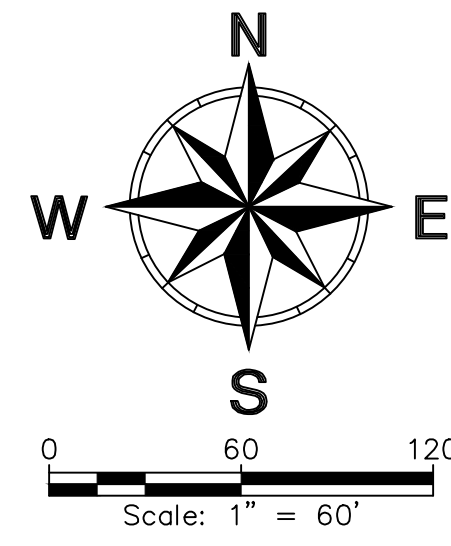
CURRENT OWNERS:
ROCKWALL 549/130 PARTNERS, LP &
CONVEYOR 130 PARTNERS, LP

NOTES:
MINIMUM SIDE & REAR YARD SETBACKS: 10'

COMPOSITE CONCEPT/DEVELOPMENT PLAN
Job #: 24039 Rockwall, Texas Rockwall Heights // August 08 2024 // Site Analysis

EXHIBIT C-1 0 25 50 100

SUBDISTRICT C
4.639 AC.
(202,068 S.F.)

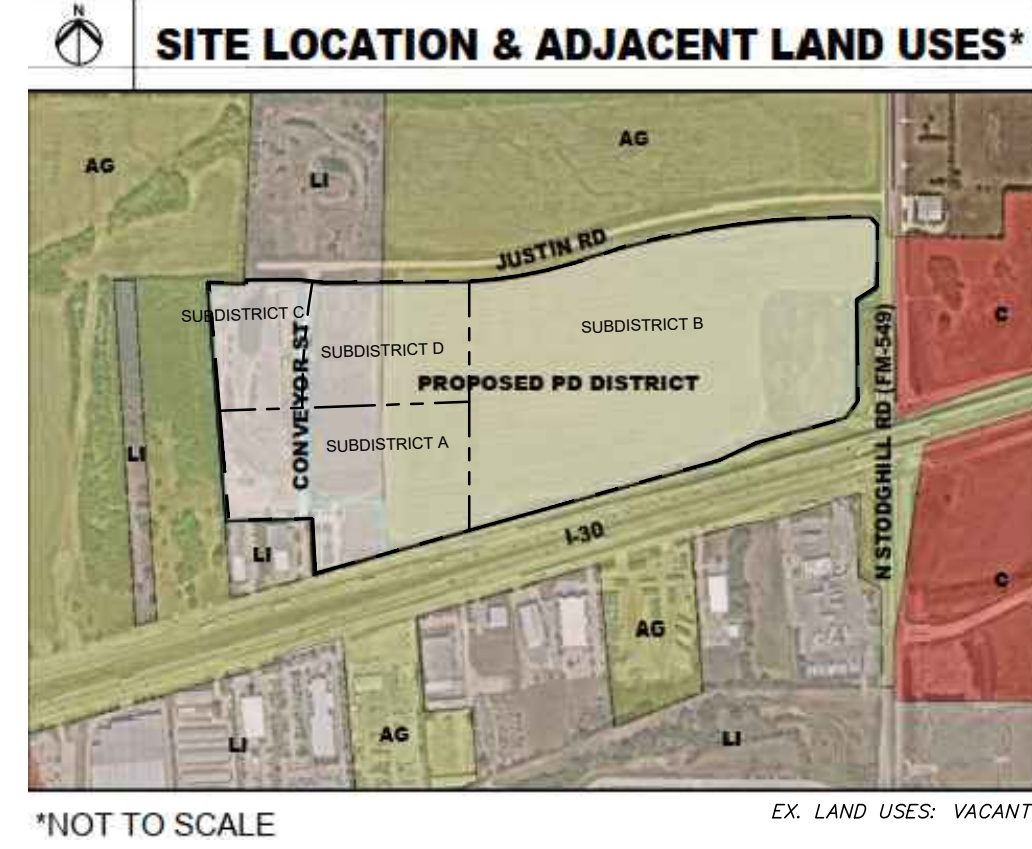


SUBDISTRICT D
10.924 AC.
(475,847 S.F.)

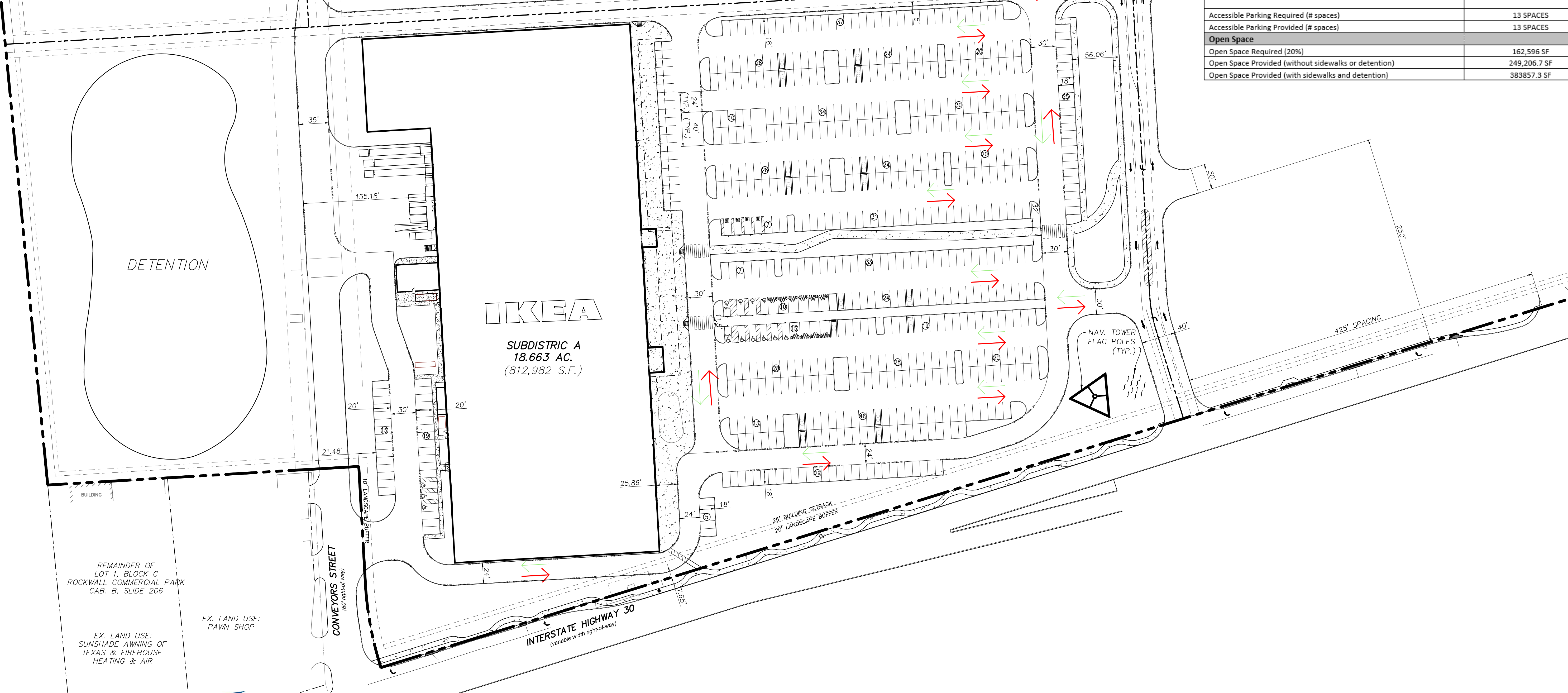
PROPERTY BOUNDARY/R.O.W.

CURRENT OWNERS:
ROCKWALL 549/130 PARTNERS, LP &
CONVEYOR 130 PARTNERS, LP

- NOTES:**
- MINIMUM SIDE & REAR YARD SETBACKS: 10'
 - DIMENSIONS ARE TO FACE OF CURB OTHERWISE NOTED.



ROCKWALL 549/1-30
PARTNERS LP
INST. NO. 200700387631
EX. LAND USE: VACANT



General Site Data	Subdistrict A
Zoning	PD [COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN]
Land Use(s)	LARGE FORMAT RETAIL; WAREHOUSE/DISTRIBUTION
Lot Area (square feet & acres)	812,982 SF 18.7 AC
Building Footprint Area (square feet)	161,069 SF
Total Building Area (square feet)	161,069 GSF
Building Height (# stories)	3 STORIES
Building Height (feet - distance to tallest building element)	43'-6"
Lot Coverage (percent - x.xx%)	19.81%
Floor Area Ratio (ratio x.xx:1)	1.01
Residential Density (Units/Acreage)	0 UNITS/ACRE
Multifamily Units	
Total Unit Count	0
Unit Types	0
Residential Density (Units/Net Acreage)	0
Net Acreage = Total acreage minus streets and open space	0
Parking	
Parking Ratio (Proposed)	1 SPACE / 250 SF
Required Parking (# spaces)	645 SPACES
Provided Parking (# spaces)	650 SPACES
Accessible Parking Required (# spaces)	13 SPACES
Accessible Parking Provided (# spaces)	13 SPACES
Open Space	
Open Space Required (20%)	162,596 SF
Open Space Provided (without sidewalks or detention)	249,206.7 SF
Open Space Provided (with sidewalks and detention)	383857.3 SF



Engineering & Design
ADDRESS:
20700 CIVIC CENTER DR.
SUITE 170
SOUTHFIELD, MI 48076



ADDRESS:
2323 ROSS AVE.
6TH FLOOR
DALLAS, TX 75201

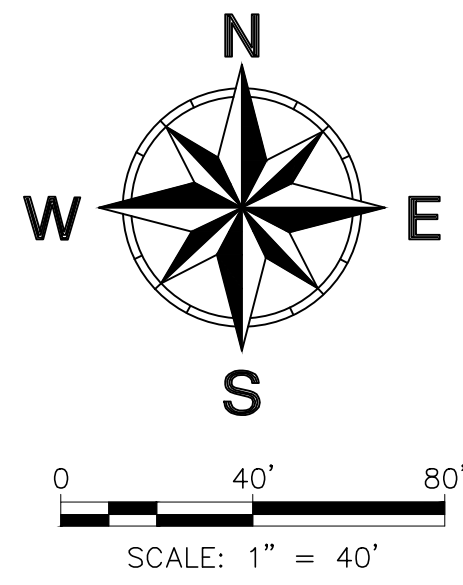
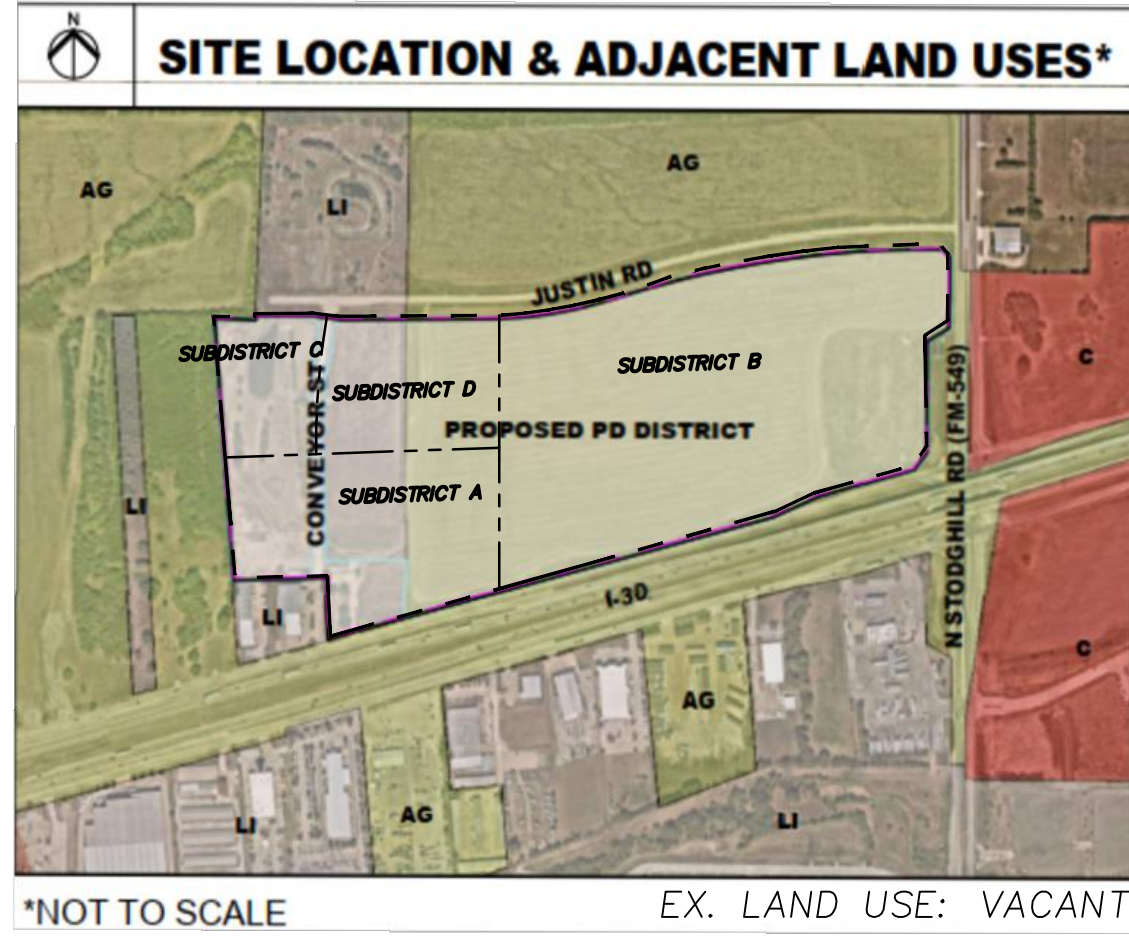


ADDRESS:
6750 HILLCREST PLAZA DR.
SUITE 215
DALLAS, TX 75219

CURRENT OWNERS:
ROCKWALL 549/130 PARTNERS, LP &
CONVEYOR 130 PARTNERS, LP

NOTES:
MINIMUM SIDE & REAR YARD SETBACKS: 10'

EXHIBIT C-2 SUBDISTRICT A DEVELOPMENT PLAN



JANIS G. DORRIS & NELDA L. LACUESTA
VOL. 850, PG. 85
EX. LAND USE: VACANT

JAMES COLLIER
ROCKWALL COMMERCIAL
PROPERTIES, INC.
CC #20210000008470
EX. LAND USE: VACANT

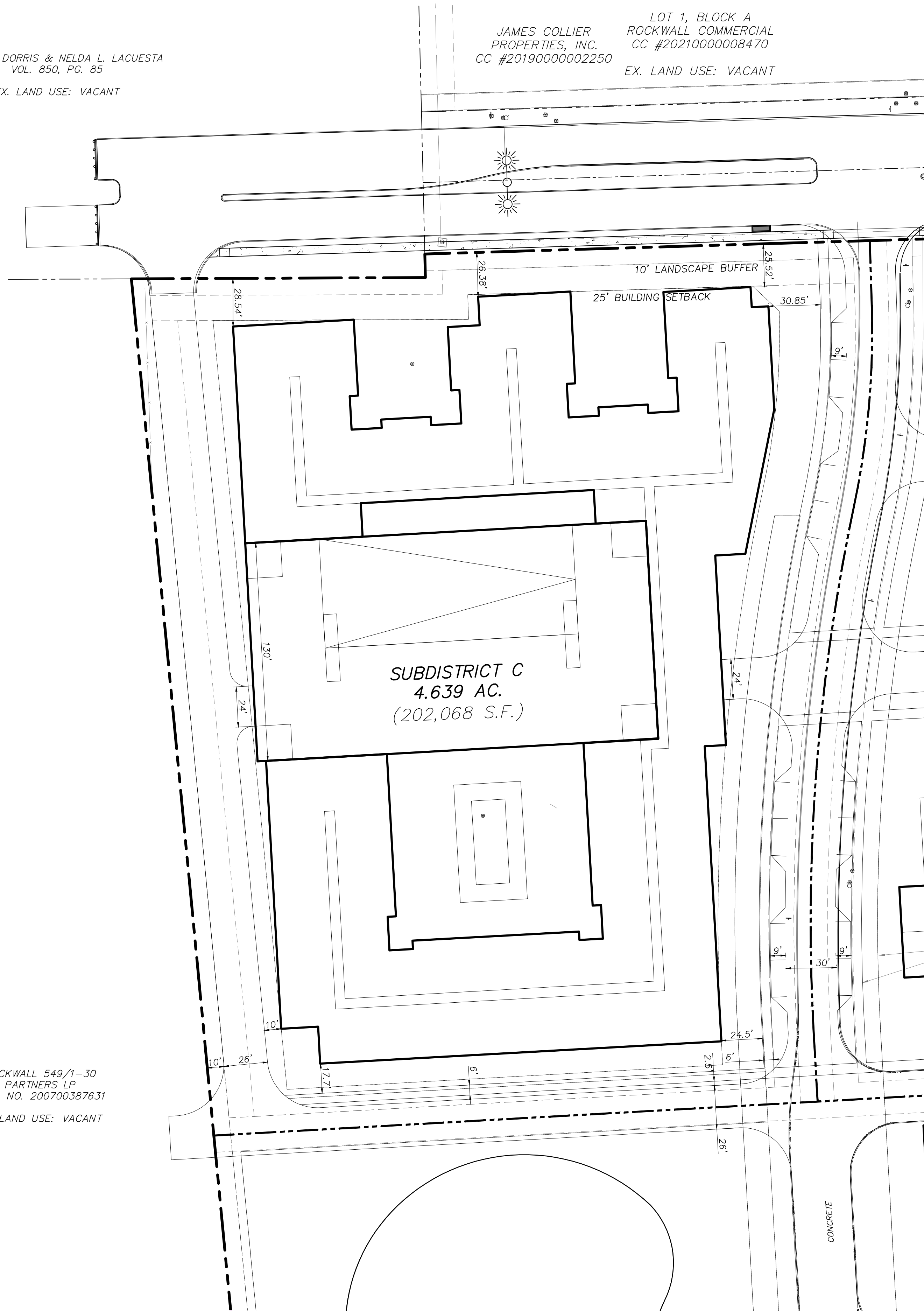
*NOT TO SCALE EX. LAND USE: VACANT

PROPERTY BOUNDARY/R.O.W.

General Site Data	Subdistrict C
Zoning	PD [COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN]
Land Use(s)	MULTIFAMILY (WRAP)
Lot Area (square feet & acres)	202,068 SF 4.64 AC
Building Footprint Area (square feet)	101,624 SF
Total Building Area (square feet)	282,000 GSF
Building Height (# stories)	5 STORIES
Building Height (feet – distance to tallest building element)	65'
Lot Coverage (percent – x.xx%)	50.64%
Floor Area Ratio (ratio x.xx:1)	1.41:1
Residential Density (Units/Acreage)	54 UNITS/ACRE
Multifamily Units	
Total Unit Count	250
Unit Types	225 APARTMENTS, 25 TOWNHOMES
Residential Density (Units/Net Acreage)	23 UNITS/ACRE
Net Acreage = Total acreage minus streets and open space	
Parking	
Parking Ratio (Proposed)	1.5 SPACES / UNIT
Required Parking (# spaces)	375 SPACES
Provided Parking (# spaces)	<u>386 SPACES</u> : 378 GARAGE SPACES, 8 PARALLEL
Accessible Parking Required (# spaces)	8 SPACES
Accessible Parking Provided (# spaces)	8 SPACES
Open Space	
Open Space Required (20%)	40,413.6 SF
Open Space Provided (without sidewalks or detention)	58,238.1 SF
Open Space Provided (with sidewalks and detention)	62,527.2 SF

- NOTES:
- MINIMUM SIDE & REAR YARD SETBACKS: 10'
 - DIMENSIONS ARE TO FACE OF CURB OTHERWISE NOTED.

ROCKWALL 549/1-30
PARTNERS LP
INST. NO. 200700387631
EX. LAND USE: VACANT



ROCKWALL HEIGHTS



ADDRESS:
3030 NOWITZKI WAY
SUITE 400
DALLAS, TX 75219



ADDRESS:
8222 DOUGLAS AVE.
SUITE 390
DALLAS, TX 75225



ADDRESS:
420 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19428



Engineering & Design
ADDRESS:
20700 CIVIC CENTER DR.
SUITE 170
SOUTHFIELD, MI 48076



ADDRESS:
2323 ROSS AVE.
6TH FLOOR
DALLAS, TX 75201

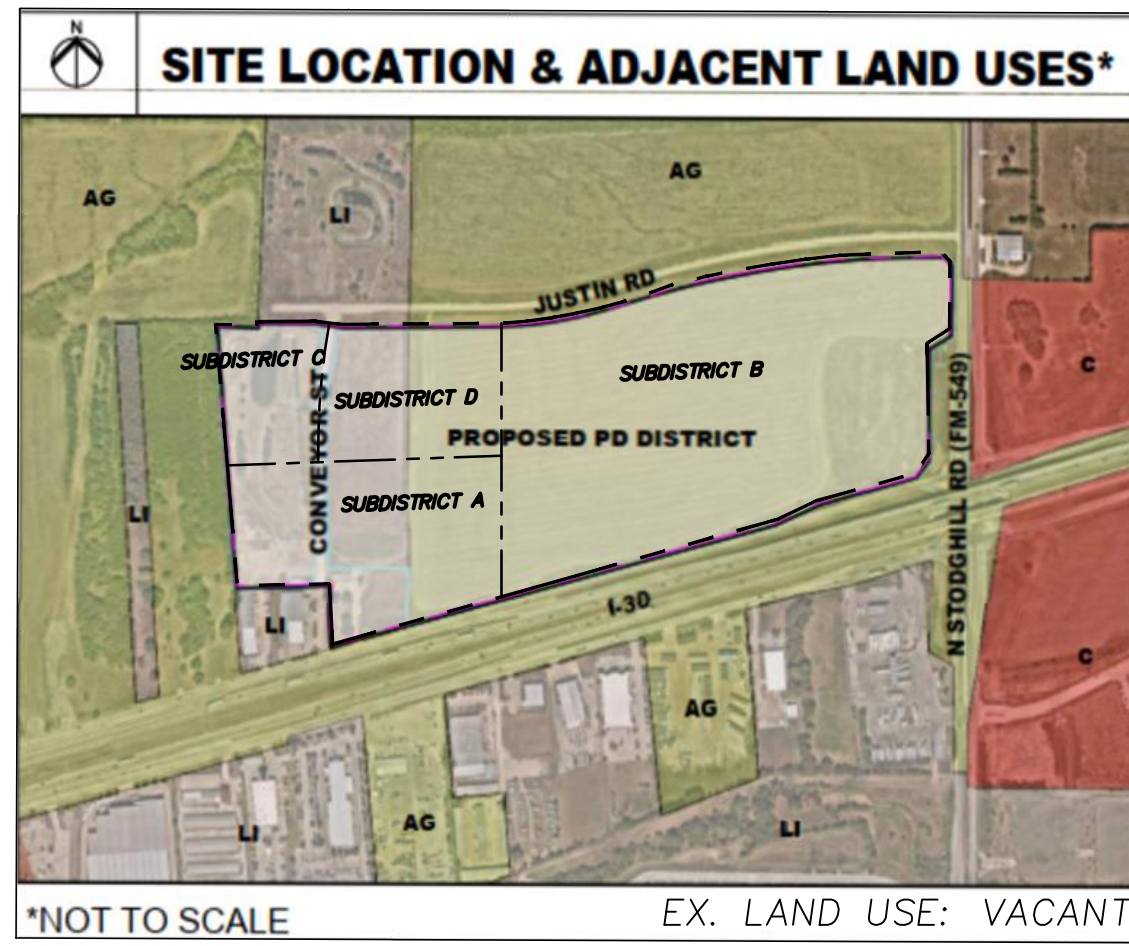


ADDRESS:
6750 HILLCREST PLAZA DR.
SUITE 215
DALLAS, TX 75219

EXHIBIT C-3 SUBDISTRICT C DEVELOPMENT PLAN

CURRENT OWNERS:
ROCKWALL 549/130 PARTNERS, LP &
CONVEYOR 130 PARTNERS, LP

Job #: 24039 Rockwall, Texas Rockwall Heights // August 08 2024 // Site Analysis

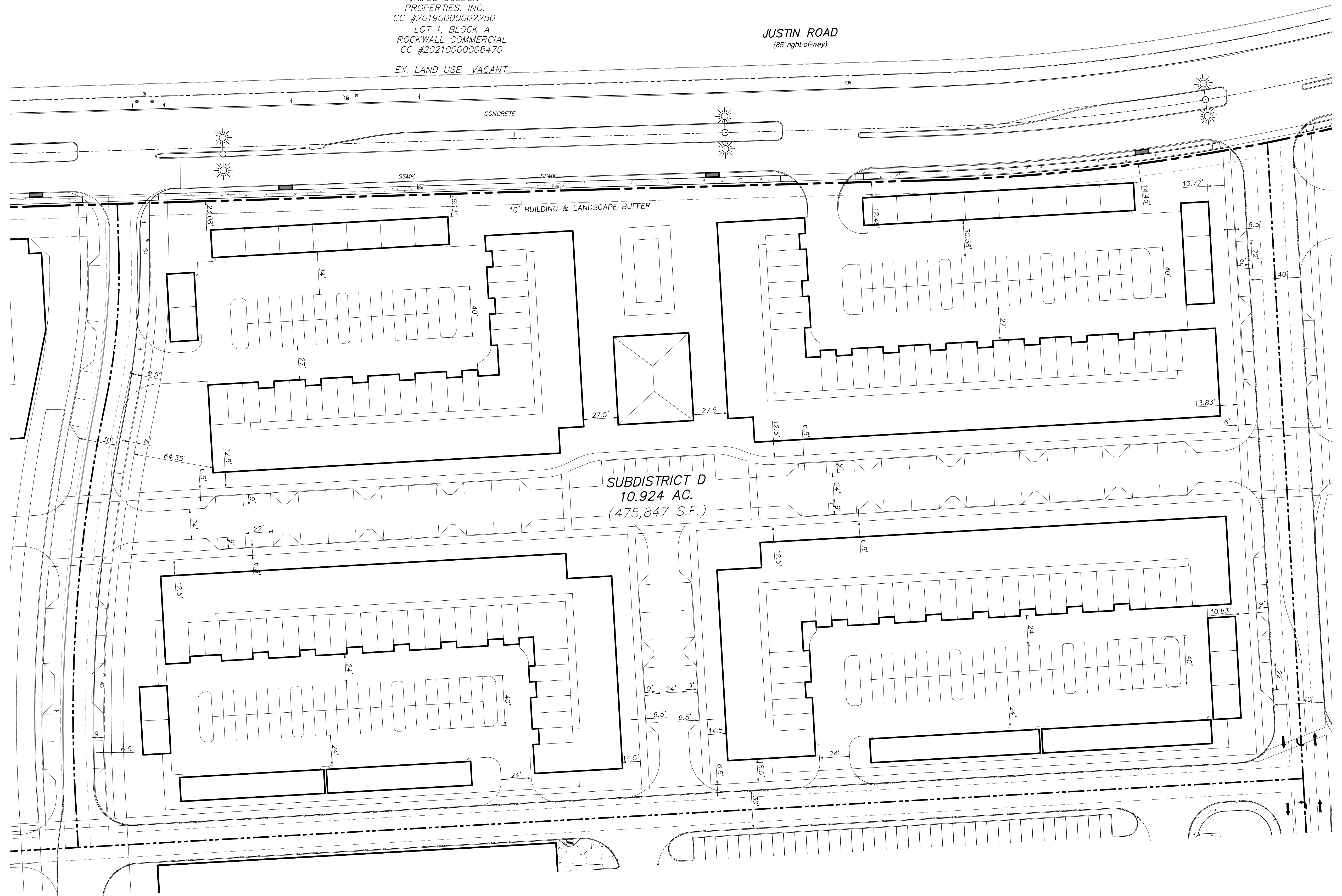
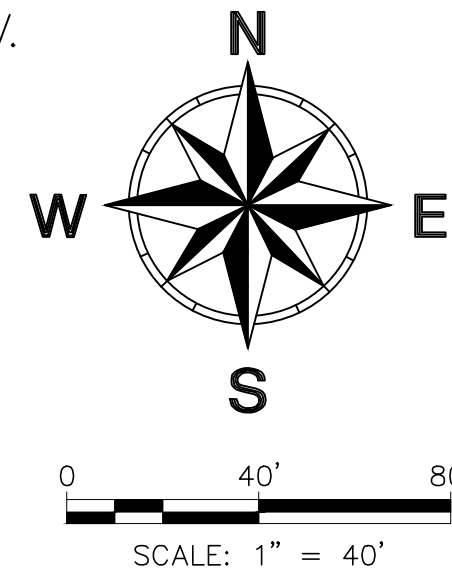


JAMES COLLIER
 PROPERTIES, INC.
 CC #2019000002250
 LOT 1, BLOCK A
 ROCKWALL COMMERCIAL
 CC #2021000008470
 EX. LAND USE: VACANT

JUSTIN ROAD
 (85' right-of-way)

*NOT TO SCALE EX. LAND USE: VACANT

PROPERTY BOUNDARY/R.O.W.



General Site Data	Subdistrict D
Zoning	PD [COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN]
Land Use(s)	MULTIFAMILY (WRAP)
Lot Area (square feet & acres)	475,847 SF 10.92 AC
Building Footprint Area (square feet)	147,847 SF
Total Building Area (square feet)	335,000 GSF
Building Height (# stories)	3 STORIES
Building Height (feet - distance to tallest building element)	45'
Lot Coverage (percent - x.xx%)	28.01%
Floor Area Ratio (ratio x.xx:1)	70:1
Residential Density (Units/Acreage)	23 UNITS/ACRE
Multifamily Units	
Total Unit Count	250
Unit Types	250 APARTMENTS
Residential Density (Units/Net Acreage)	55 UNITS/ACRE
Net Acreage = Total acreage minus streets and open space	
Parking	
Parking Ratio (Proposed)	1.5 SPACES / UNIT
Required Parking (# spaces)	375 SPACES
Provided Parking (# spaces)	430 SPACES: 178 SURFACE, 108 TUCK-UNDER GARAGES, 38 SEPARATED GARAGES, 56 PARELLEL
Accessible Parking Required (# spaces)	9 SPACES
Accessible Parking Provided (# spaces)	9 SPACES
Open Space	
Open Space Required (20%)	95,169.4 SF
Open Space Provided (without sidewalks or detention)	109,610.1 SF
Open Space Provided (with sidewalks and detention)	132,566.6 SF

NOTES:

- MINIMUM SIDE & REAR YARD SETBACKS: 10'
- DIMENSIONS ARE TO FACE OF CURB OTHERWISE NOTED.

ROCKWALL HEIGHTS



ADDRESS:
 3030 NOWITZKI WAY
 SUITE 400
 DALLAS, TX 75219



ADDRESS:
 8222 DOUGLAS AVE.
 SUITE 390
 DALLAS, TX 75225



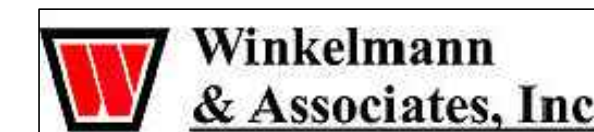
ADDRESS:
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19428



Engineering & Design
 ADDRESS:
 20700 CIVIC CENTER DR.
 SUITE 170
 SOUTHFIELD, MI 48076



ADDRESS:
 2323 ROSS AVE.
 6TH FLOOR
 DALLAS, TX 75201

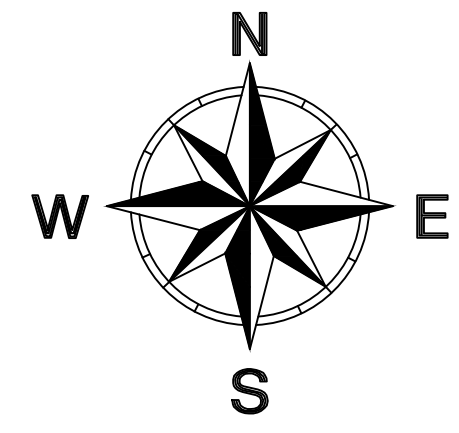


ADDRESS:
 6750 HILLCREST PLAZA DR.
 SUITE 215
 DALLAS, TX 75219

EXHIBIT C-4 SUBDISTRICT C DEVELOPMENT PLAN

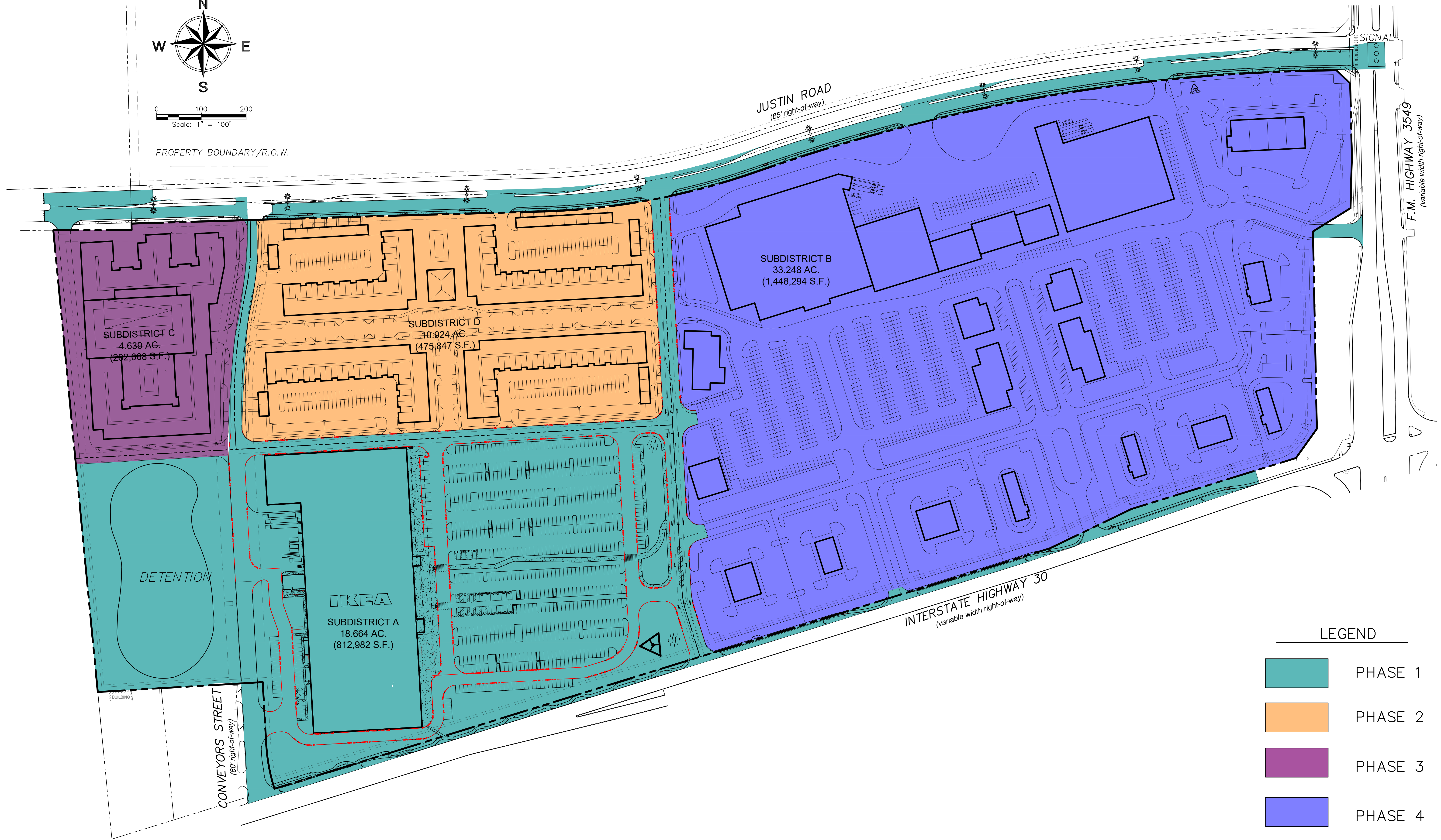
CURRENT OWNERS:
 ROCKWALL 549/130 PARTNERS, LP &
 CONVEYOR 130 PARTNERS, LP

Job #: 24039 Rockwall, Texas Rockwall Heights // August 08 2024 // Site Analysis



0 100 200
Scale: 1" = 100'

PROPERTY BOUNDARY/R.O.W.



LEGEND

- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4

ROCKWALL HEIGHTS
GFFdesign

PegasusAblon



Colliers
Engineering & Design

JW Jackson Walker

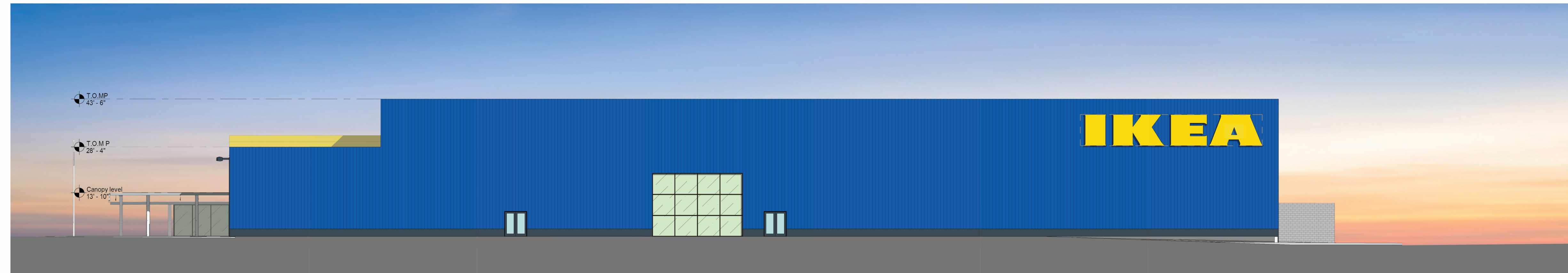
W Winkelmann & Associates, Inc.

EXHIBIT F
PHASING PLAN





1 EXTERIOR ELEVATION - EAST



2 EXTERIOR ELEVATION - NORTH



3 EXTERIOR ELEVATION - SOUTH



4 EXTERIOR ELEVATION - WEST



5 EXTERIOR ELEVATION - NAVIGATION TOWER



NORTH STREET FACING

SCALE: 1/16" = 1'-0"



SOUTH STREET FACING

SCALE: 1/16" = 1'-0"



EAST STREET FACING

SCALE: 1/16" = 1'-0"



WEST

SCALE: 1/16" = 1'-0"



NORTH STREET FACING

SCALE: 1/16" = 1'-0"



SOUTH INTERNAL PARKING COURT

SCALE: 1/16" = 1'-0"



EAST STREET FACING

SCALE: 1/16" = 1'-0"



WEST INTERNAL PARKING COURT

SCALE: 1/16" = 1'-0"



NORTH STREET FACING

SCALE: 1/16" = 1'-0"



EAST INTERNAL PARKING COURT

SCALE: 1/8" = 1'-0"



SOUTH INTERNAL PARKING COURT

SCALE: 1/16" = 1'-0"



WEST STREET FACING

SCALE: 1/8" = 1'-0"



NORTH POOL FACING

SCALE: 1/16" = 1'-0"



EAST

SCALE: 1/16" = 1'-0"



SOUTH STREET FACING

SCALE: 1/16" = 1'-0"



WEST

SCALE: 1/16" = 1'-0"

Rockwall Heights







Rockwall Heights









Rockwall Heights | Affinity Imagery



EXAMPLE - JUNIOR ANCHOR



EXAMPLE - OMNI RETAIL



EXAMPLE - MAIN ENTRY



EXAMPLE - STODGHILL RD ENTRY



EXAMPLE - PAD SITE (LOGO CAN BE REMOVED)

General Site Data	Subdistrict A	Subdistrict C	Subdistrict D
Zoning	PD [COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN]	PD [COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN]	PD [COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN]
Land Use(s)	LARGE FORMAT RETAIL; WAREHOUSE/DISTRIBUTION	MULTIFAMILY (WRAP)	MULTIFAMILY (TUCK UNDER)
Lot Area (square feet & acres)	812,982 SF 18.7 AC	202,068 SF 4.64 AC	475,847 SF 10.92 AC
Building Footprint Area (square feet)	161,069 SF	101,624 SF	147,847 SF
Total Building Area (square feet)	161,069 GSF	282,000 GSF	335,000 GSF
Building Height (# stories)	3 STORIES	5 STORIES	3 STORIES
Building Height (feet – distance to tallest building element)	43'-6"	65'	45'
Lot Coverage (percent – x.xx%)	19.81%	50.64%	28.01%
Floor Area Ratio (ratio x.xx:1)	1:01	1.41:1	.70:1
Residential Density (Units/Acreage)	0 UNITS/ACRE	54 UNITS/ACRE	23 UNITS/ACRE
Multifamily Units			
Total Unit Count	0	250	250
Unit Types	0	250 APARTMENTS	225 APARTMENTS, 25 TOWNHOMES
Residential Density (Units/Net Acreage) Net Acreage = Total acreage minus streets and open space	0	55 UNITS/ACRE	23 UNITS/ACRE
Parking			
Parking Ratio (Proposed)	1 SPACE / 250 SF	1.5 SPACES / UNIT	1.5 SPACES / UNIT
Required Parking (# spaces)	645 SPACES	375 SPACES	375 SPACES
Provided Parking (# spaces)	650 SPACES	386 SPACES: 378 GARAGE SPACES, 8 PARALLEL	430 SPACES: 178 SURFACE, 108 TUCK-UNDER GARAGES, 38 SEPARATED GARAGES, 56 PARELLEL
	8 SPACES		
	8 SPACES		
Accessible Parking Required (# spaces)	13 SPACES	8 SPACES	9 SPACES
Accessible Parking Provided (# spaces)	13 SPACES	8 SPACES	9 SPACES
Open Space			
Open Space Required (20%)	162,596 SF	40,413.6 SF	95,169.4 SF
Open Space Provided (without sidewalks or detention)	249,206.7 SF	58,238.1 SF	109,610.1 SF
Open Space Provided (with sidewalks and detention)	383857.3 SF	62,527.2 SF	132,566.6 SF



ADDRESS:
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SUITE 400
DALLAS, TX 75219



ADDRESS:
8222 DOUGLAS AVE.
SUITE 390
DALLAS, TX 75225



ADDRESS:
420 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19428



Engineering & Design
ADDRESS:
20700 CIVIC CENTER DR.
SUITE 170
SOUTHFIELD, MI 48076



ADDRESS:
2323 ROSS AVE.
6TH FLOOR
DALLAS, TX 75201



ADDRESS:
6750 HILLCREST PLAZA DR.
SUITE 215
DALLAS, TX 75219

CURRENT OWNERS:
ROCKWALL 549/130 PARTNERS, LP &
CONVEYOR 130 PARTNERS, LP

Job #: 24039

Rockwall, Texas

Rockwall Heights // August 08 2024 // Site Analysis

EXHIBIT C-1.1
COMPOSITE SITE DATA TABLES

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, CLOSING, ABANDONING AND VACATING THE DEDICATED PUBLIC RIGHT-OF-WAY FOR CONVEYOR STREET MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND DEPICTED EXHIBIT 'B' OF THIS ORDINANCE AND CONVEYING THE RIGHT-OF-WAY TO THE ADJACENT PROPERTY OWNER; IDENTIFYING A MUNICIPAL PURPOSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Subsection 311.007, *Closing of Street or Alley by Home-Rule Municipality*, of Chapter 311, *General Provisions Relating to Municipal Streets*, of the Texas Transportation Code grants a home-rule municipality the powers to vacate, abandon, or close a street or alleyway; and,

WHEREAS, Section 272.001(b) of the Texas Local Government Code provides that land -- *including streets or alleys* -- owned in fee or used by easement by a political subdivision of the state, may be conveyed, sold or exchanged for less than fair market value with one or more of the abutting property owners who own the underlying fee; and,

WHEREAS, the City of Rockwall currently incurs costs annually associated with the maintenance (*i.e. mowing*) of the dedicated public right-of-way for Conveyor Street -- *described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance* -- which is currently a public roadway; and,

WHEREAS, the City Council of the City of Rockwall has determined that the dedicated public right-of-way -- *described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance* -- is no longer needed for public purposes, and finds that it is in the best interest of the City to convey the roadway to the adjacent and abutting property owner; and,

WHEREAS, with proper notice to the public, a public hearing was held on February 20, 2024 at a meeting of the City Council of the City of Rockwall, during which all interested parties and citizens were allowed to appear and be heard; and,

WHEREAS, the City of Rockwall has determined that it is feasible and advantageous to abandon this City property subject to the terms and conditions set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. PROPERTY. The *Property* shall be as described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, and shall be incorporated by reference herein.

SECTION 2. QUITCLAIM. Section 272.001(b) of the Texas Local Government Code allows the City the power to convey city-owned property at less than fair market value to the abutting property owners. The Mayor of the City of Rockwall or the City Manager, as the case may be, are authorized to quitclaim the *Property* described in *Section 1* hereof to the abutting property owner upon the approval of this ordinance.

SECTION 3. LIMITATIONS. The abandonment of the *Property* shall extend only to the public right, title and easement in and to the tracts of land described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, and shall be construed only to that interest the governing body of the City may legally and

lawfully abandon.

SECTION 4. MUNICIPAL PURPOSE. The *Property* described in *Section 1*, save and except the municipal utility easements located thereon, is no longer needed for municipal purposes and it is in the public interest of the City, to abandon said described portions of the right-of-way as depicted in *Exhibit 'C'* to the adjacent and abutting property owners.

SECTION 5. SCOPE. That the abandonment provided for herein shall extend only to the public right, title and easement in and to the tracts of land described in *Section 1* of this ordinance, and shall be construed only to that interest the governing body of the City of Rockwall may legally and lawfully abandon.

SECTION 6. EXCEPTIONS. In addition to the express reservations provided for in *Section 1* hereof, the conveyance is made subject to any and all valid, conditions, easements, restrictions and the like, whether record or not in the real property records of Rockwall County Texas.

SECTION 7. INCORPORATION OF RECITALS. The City Council finds the recitals contained in the preamble to this *Ordinance* are true and correct and incorporates them as findings of fact.

SECTION 8. SAVINGS CLAUSE. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 9. REPEALING ORDINANCES IN CONFLICT. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 10. EFFECTIVE DATE. This *Ordinance* shall be effective immediately following its passage and approval by the City Council.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF OCTOBER, 2024.

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 16, 2024

2nd Reading: October 7, 2024

DRAFT
ORDINANCE
08.27.2024

Exhibit 'A'
Legal Description

BEING a tract of land situated in the E.M. Elliot Survey, Abstract No. 77, and the John Lockhart, Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, and being a portion of Conveyors Street (60' wide public right-of-way) (Cabinet B, Slide 206, Plat Records, Rockwall County, Texas) and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the northernmost northwest corner of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 2021000008470, said Plat Records, common to the north corner of a corner clip at the intersection of the southerly right-of-way line of Justin Road (85' wide public right-of-way) (Instrument No. 2021000008470, said Plat Records) and the easterly right-of-way line of said Conveyors Street;

THENCE South 43°16'40" West, with said corner clip, a distance of 42.43 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the south corner of said corner clip;

THENCE with the common line of said Lot 1, Block B and said Conveyors Street the following courses and distances:

South 01°43'20" East, a distance of 9.59 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 530.00 feet, a central angle of 13°38'17", and a chord bearing and distance of South 05°05'50" West, 125.86 feet;

In a southerly direction, with said tangent curve to the right, an arc distance of 126.15 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a reverse curve to the left with a radius of 1,170.00 feet, a central angle of 15°08'16", and a chord bearing and distance of South 04°20'45" West, 308.22 feet;

In a southerly direction, with said reverse curve to the left, an arc distance of 309.12 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 03°13'23" East, passing at a distance of 478.23 feet a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the westernmost southwest corner of said Lot 1, Block B, and continuing along the same course and with the common line of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, said Plat Records, for a total distance of 562.44 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

THENCE South 86°46'37" West, departing said common line and crossing said Conveyors Street, a distance of 60.00 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the southeast corner of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 2021000008470, said Plat Records, same being the northeast corner of a tract of land described in a deed to Donna Cullins Pritchard and Kimberly Cullins Collichio, recorded in Volume 7346, Page 158, Real Property Records, Rockwall County, Texas;

THENCE with the common line of said Lot 1R, Block C and said Conveyors Street the following courses and distances:

North 03°13'23" West, a distance of 562.44 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 1,230.00 feet, a central angle of 15°08'16", and a chord bearing and distance of North 04°20'47" East, 324.03 feet;

In a northerly direction, with said tangent curve to the right, an arc distance of 324.97 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a reverse curve to the left with a radius of 470.00 feet, a central angle of 13°38'17", and a chord bearing and distance of North 05°05'49" East, 111.61 feet;

In a northerly direction, with said reverse curve to the left, an arc distance of 111.87 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

Exhibit 'A'
Legal Description

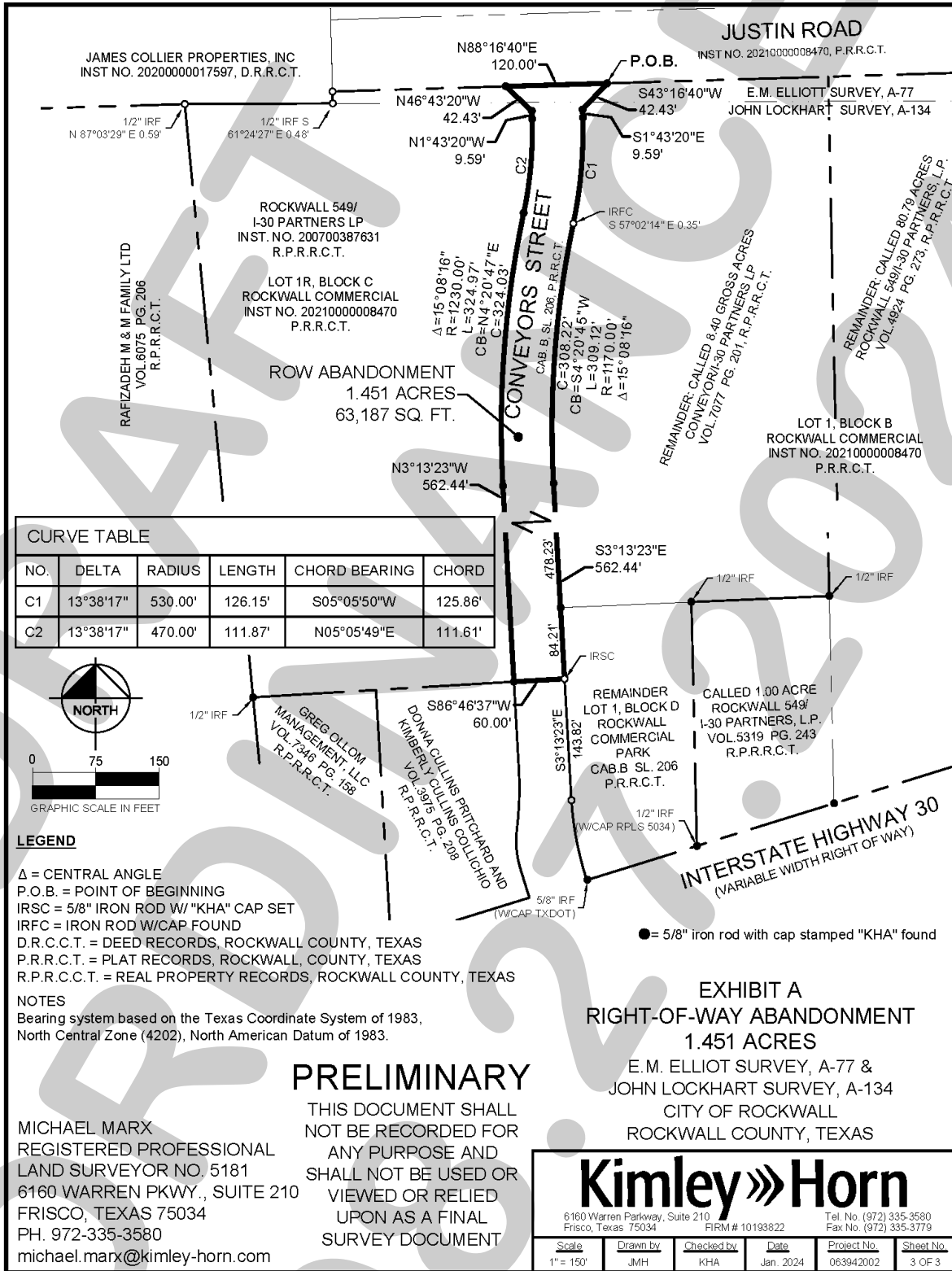
North 01°43'20" West, a distance of 9.59 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the easternmost northeast corner of said Lot 1R, Block C, common to the south corner of a corner clip at the intersection of the westerly right-of-way line of said Lot 1R, Block C and the southerly right-of-way line of said Justin Road;

THENCE North 46°43'20" West, along said corner clip, a distance of 42.43 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the northernmost northeast corner of said Lot 1R, Block C, common to the north corner of said corner clip;

THENCE North 88°16'40" East, crossing said Conveyors Street, a distance of 120.00 feet to the **POINT OF BEGINNING** and containing 63,187 square feet or 1.451 acres of land, more or less.

DRAFT
ORDINANCE
08.27.2024

Exhibit 'B'
Dedicated Public Right-of-Way to be Abandoned



CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A COMMERCIAL (C) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR COMMERCIAL (C) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 67.475-ACRE TRACT OF LAND IDENTIFIED AS LOT 1, BLOCK B; LOT 1R, BLOCK C; AND LOT 1, BLOCK D, ROCKWALL COMMERCIAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND FURTHER DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from William S. Dahlstrom of Jackson Walker, LLP on behalf of Ronald P. Berlin of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a *Zoning Change* from a Commercial (C) District to Planned Development District XX (PD-XX) for Commercial (C) District land uses on a 67.059-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road (FM-3549) and the IH-30 Frontage Road, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with

the *Subdistrict Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Overall Concept Plan*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Phasing Plan*, depicted in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 6. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, outlined in *Exhibit 'G'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'G'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 7. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 8. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 9. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 10. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (*including references to the Unified Development Code [UDC]*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 11. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF OCTOBER, 2024.

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 16, 2024

2nd Reading: October 7, 2024

Exhibit 'A'
Legal Description

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being all of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), a portion of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, P.R.R.C.T., and the remainder of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, P.R.R.C.T., and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found for corner;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point for corner from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 1,507.74 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found for corner;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point for corner;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point for corner;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

Exhibit 'A'
Legal Description

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/I-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 1,036.76 feet to a point for corner from which a 1/2-inch iron rod found bears North 78 deg 37 min 38 sec East, a distance of 0.42 feet;

THENCE North 89 deg 44 min 47 sec East, along the common line of said Lot 1R, Block C, and a tract of land as described in deed to Janis G. Dorris & Nelda L. Lacuesta, recorded in Volume 850, Page 85, O.P.R.R.C.T., a distance of 175.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 49 deg 13 min 08 sec East, a distance of 0.47 feet;

THENCE North 01 deg 22 min 01 sec West, continuing along said common line, a distance of 14.02 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northeast corner of said Lot 1R, Block C, and a Southeast corner of said Janis G. Dorris & Nelda L. Lacuesta tract;

THENCE North 88 deg 16 min 40 sec East, departing said common line and along the North line of said Lot 1R, Block C, and the South right-of-way line of Justin Road, an 85- foot right-of-way, a distance of 204.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Northerly corner of said Lot 1R, Block C;

THENCE North 88 deg 16 min 27 sec East, departing the North line of said Lot 1R, Block C, and over and across the right-of-way of said Justin Road and said Conveyors Street, a distance of 120.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northwest corner of said Lot 1, Block B;

THENCE along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, the following:

North 88 deg 16 min 40 sec East, a distance of 311.50 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner;

North 88 deg 25 min 20 sec East, a distance of 281.12 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the left having a radius of 1,592.50 feet, a central angle of 17 deg 40 min 38 sec, a chord bearing of North 79 deg 26 min 21 sec

East, and a chord length of 489.38 feet;

Along said curve to the left, an arc distance of 491.33 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the right having a radius of 3,979.40 feet, a central angle of 18 deg 16 min 32 sec, a chord bearing of North 79 deg 44 min 18 sec

East, and a chord length of 1,263.93 feet;

Along said curve to the right, an arc distance of 1,269.30 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 52 min 09 sec East, a distance of 0.84 feet;

North 88 deg 52 min 34 sec East, a distance of 49.83 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 14 deg 09 min 55 sec East, a distance of 0.76 feet, said point being the most Northerly Northeast corner of said Lot 1, Block B,

Exhibit 'A'
Legal Description

and the Northeast corner of a corner clip, and being situated in the West right-of-way line of said F.M. Highway 3549;

THENCE South 46 deg 07 min 44 sec East, continuing along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, and along the West right-of-way line of said F.M. Highway 3549, and said corner clip, a distance of 42.43 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 58 min 22 sec East, a distance of 0.71 feet, said point being a North corner of said Lot 1, Block B, and the Southeast corner of said corner clip;

THENCE, departing the South right-of-way line of said Justin Road, the North line of said Lot 1, Block B, and said corner clip, continuing along the West right-of-way line of said F.M. Highway 3549 and along the East line of said Lot 1, Block B, the following:

South 01 deg 13 min 54 sec East, a distance of 165.08 feet to a 1/2-inch iron rod found for corner;

South 01 deg 26 min 27 sec West, a distance of 113.61 feet to a 5/8-inch iron rod found for corner;

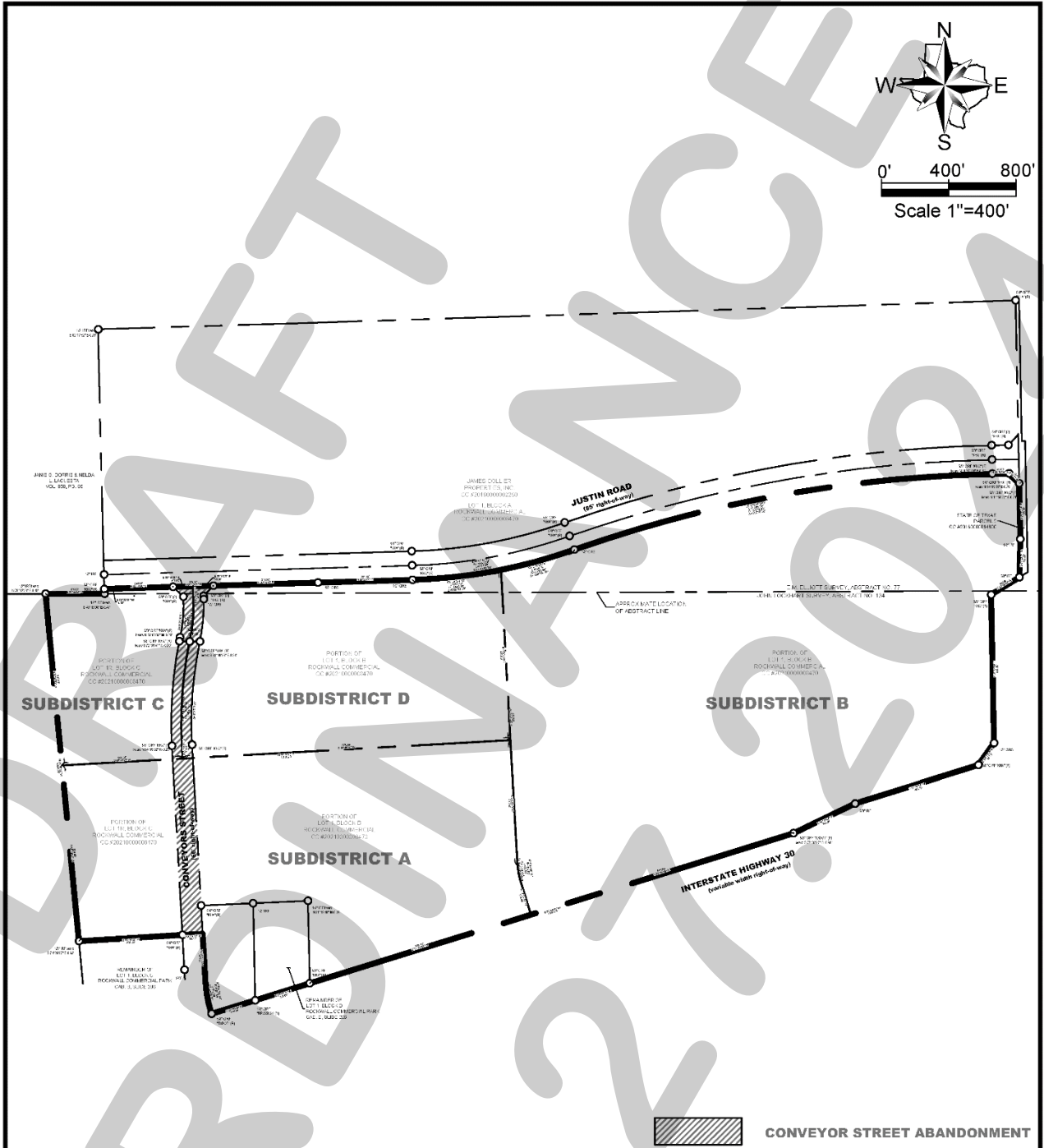
South 58 deg 12 min 56 sec West, a distance of 98.69 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 01 deg 07 min 09 sec East, a distance of 441.34 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" for corner, said iron rod being situated in the North right-of-way line of said Interstate Highway 30, and being the Northeast corner of a corner clip;

THENCE South 35 deg 33 min 35 sec West, continuing along the West right-of-way line of said F.M. Highway 3549, and along said corner clip, a distance of 80.25 feet to the *POINT OF BEGINNING*. Containing 67.475 acres or 2,939,199 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

Exhibit 'B'
Survey




 <p>Winkelmann & Associates, Inc. CONSULTING CIVIL ENGINEERS ■ SURVEYORS 6750 HILLOREST PLAZA DRIVE, SUITE 215 DALLAS, TEXAS 75250 Texas Engineers Registration No. 89 Texas Surveyors No. 10086500 Expires 12-31-2024 COPYRIGHT © 2024, Winkelmann & Associates, Inc.</p>	<p>EXHIBIT B SURVEY</p>	<p>SHEET 1 OF 1</p>
	<p>PROPERTY BOUNDARY 67.475 ACRES (2,939,199 SQ. FT.)</p>	
<p>Scale: 1:400 Date: 08.06.24 Dwg. File: 63406-Exhibit B Project No.: 63406</p>		

Exhibit 'C'
Subdistrict Plan

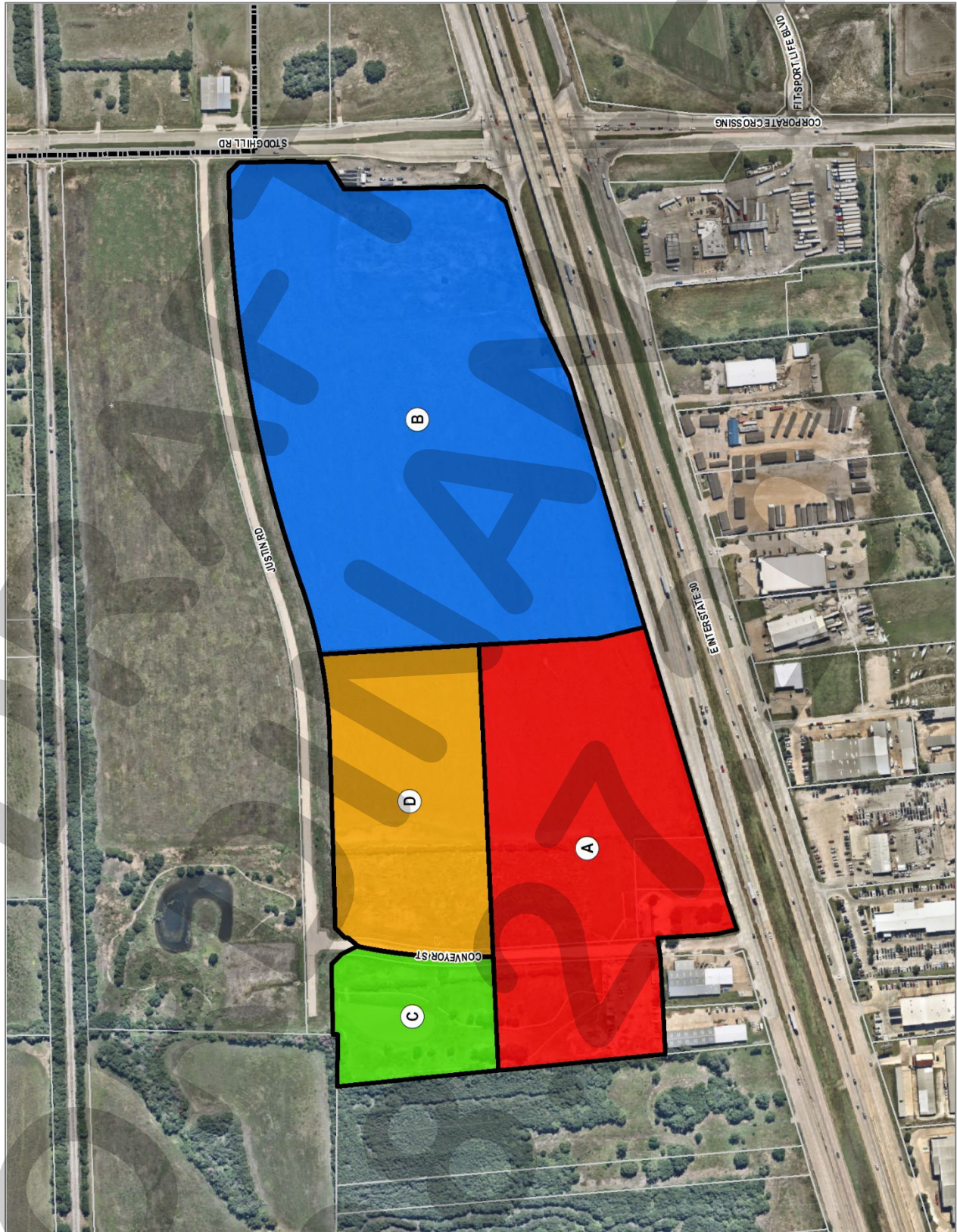


Exhibit 'D'
Overall Concept Plan



Exhibit 'E'
Phasing Plan

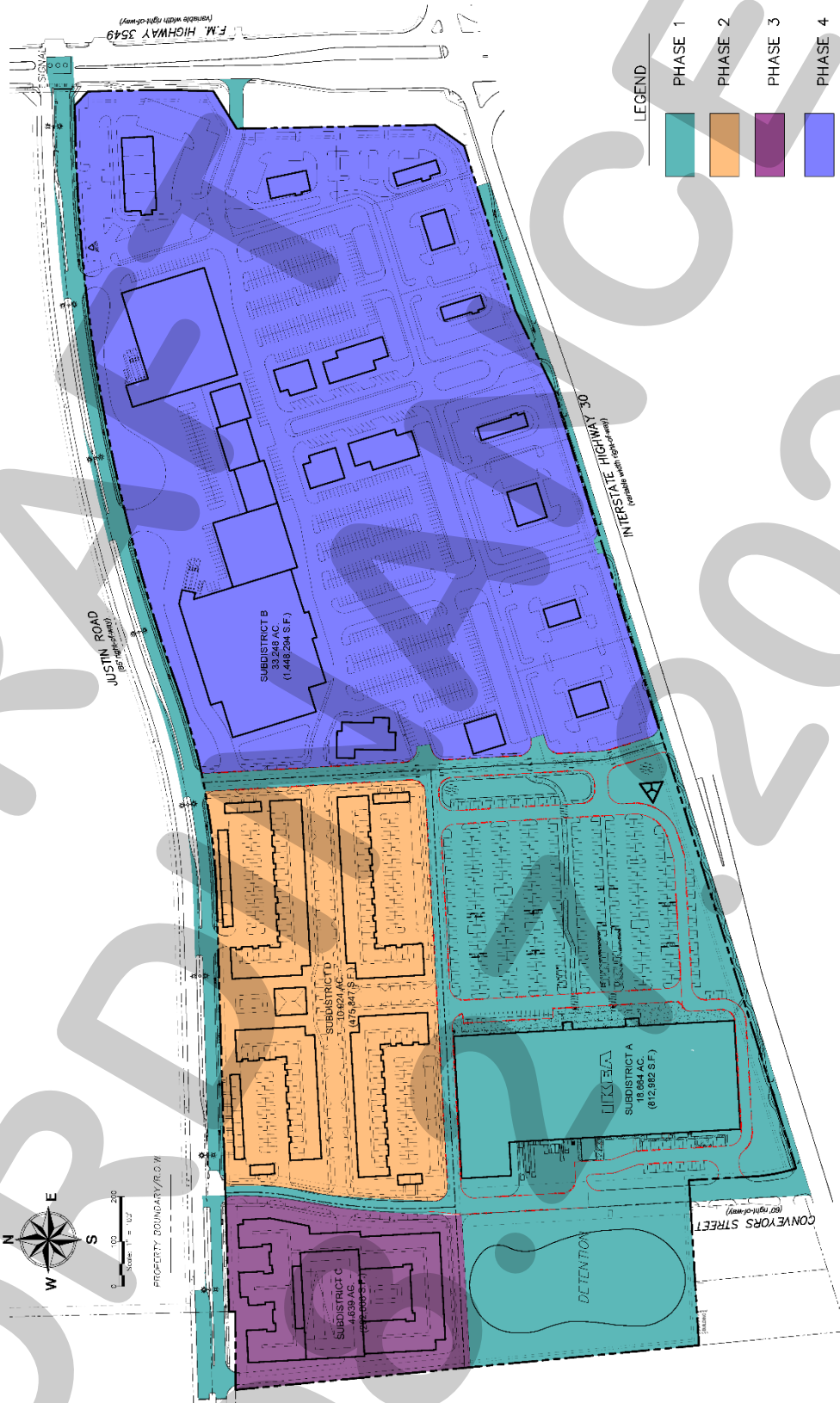


Exhibit 'F'
Conceptual Building Elevations | Subdistrict A

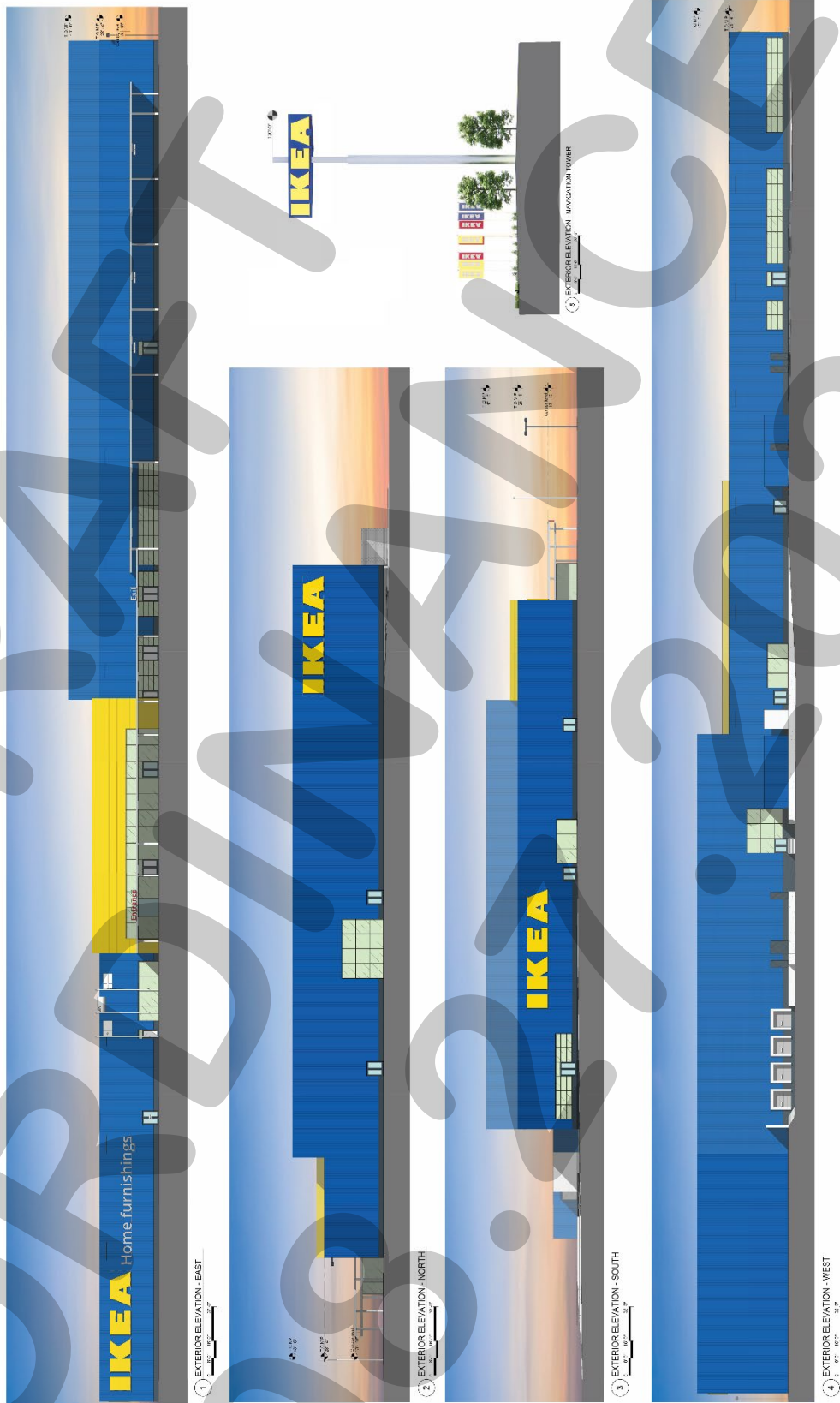


Exhibit 'F'
Conceptual Building Elevations | Subdistrict C



Exhibit 'F'
Conceptual Building Elevations | Subdistrict C



Exhibit 'F'
Conceptual Building Elevations | Subdistrict D



Exhibit 'F'
Conceptual Building Elevations | Subdistrict D



EAST STREET FACING
SCALE: 1/16" = 1'-0"



WEST INTERNAL PARKING COURT
SCALE: 1/16" = 1'-0"

Exhibit 'F'
Conceptual Building Elevations | Subdistrict D



Exhibit 'F'
Conceptual Building Elevations | Subdistrict D



EAST
SCALE: 1/18" = 1'-0"



WEST
SCALE: 1/18" = 1'-0"



NORTH POOL FACING
SCALE: 1/18" = 1'-0"



SOUTH STREET FACING
SCALE: 1/18" = 1'-0"

Exhibit 'G'
Development Standards

(A) ESTABLISHMENT AND INTENT OF THE SUBDISTRICTS

The *Subject Property* shall be divided into four (4) subdistricts as depicted on the *Subdistrict Plan*, which is contained in *Exhibit 'C'* of this ordinance. The intent of each of the established *Subdistricts* is as follows:

- (1) Subdistrict A. The intent of *Subdistrict A* is to provide for a single, *Large Format Retailer*.
- (2) Subdistrict B, C, & D. The intent of *Subdistricts B, C, & D* is to provide a *Regional Mixed-Use Development* that incorporates, multi-family, retail, restaurant, and/or entertainment land uses in conformance with the vision established in the *IH-30 Corridor Plan* contained in the *OURHometown Vision 2040 Comprehensive Plan*. Specifically, the intent of each of these *Subdistricts* is as follows:
 - (a) Subdistrict B. The intent of *Subdistrict B* is to provide a *Regional Center* that consists of retail, restaurant, and/or entertainment land uses in conformance with the vision established in the *IH-30 Corridor Plan* contained in the *OURHometown Vision 2040 Comprehensive Plan*.
 - (b) Subdistrict C. The intent of *Subdistrict C* is to provide an *Urban Residential* style condominium building that provides residential housing as part of the *Regional Mixed-Use Development*.
 - (c) Subdistrict D. The intent of *Subdistrict D* is to provide a *Low-Rise Multi-Family Community* style multi-family community that provides another style of residential housing as part of the *Regional Mixed-Use Development*.

(B) PROCESSES FOR EACH SUBDISTRICT

- (1) Subdistrict A. *Subdistrict A* shall be developed in conformance with the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance, and the development standards contained in Subsections (C) & (D) of this ordinance. Prior to the issuance of a *Building Permit* for any portion of *Subdistrict A*, a *PD Site Plan -- that conforms to the requirements of this Planned Development District ordinance and the Unified Development Code (UDC) --* shall be submitted and approved in accordance with the requirements of Article 11, *Development Application Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].
- (2) Subdistrict B. *Subdistrict B* shall be developed in general conformance with the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance. Prior to the issuance of a *Building Permit* for any structure in *Subdistrict B*, a *PD Development Plan* and *PD Site Plan* shall be submitted and approved in accordance with the requirements of Article 10, *Planned Development District Regulations*, and Article 11, *Development Application Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*], and in conformance with the development standards contained in this *Planned Development District ordinance*.
- (3) Subdistrict C. *Subdistrict C* shall be developed in conformance with the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance, and the development standards contained in Subsections (C) & (F) of this ordinance. Prior to the issuance of a *Building Permit* for any portion of *Subdistrict C*, a *PD Site Plan -- that conforms to the requirements of this*

Exhibit 'G'
Development Standards

Planned Development District ordinance and the Unified Development Code (UDC) -- shall be submitted and approved in accordance with the requirements of Article 11, Development Application Review Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

- (4) Subdistrict D. *Subdistrict D shall be developed in conformance with the Overall Concept Plan contained in Exhibit 'D' of this ordinance, and the development standards contained in Subsections (C) & (G) of this ordinance. Prior to the issuance of a Building Permit for any portion of Subdistrict A, a PD Site Plan -- that conforms to the requirements of this Planned Development District ordinance and the Unified Development Code (UDC) -- shall be submitted and approved in accordance with the requirements of Article 11, Development Application Review Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].*
- (5) PD Development Plans. *If a PD Site Plan is submitted that does not meet the intent of this Planned Development District Ordinance, the Director of Planning and Zoning shall prepare a recommendation outlining how the proposed PD Site Plan fails to meet the intent, and bring the PD Site Plan and recommendation to the Planning and Zoning Commission for action. Should the Planning and Zoning Commission determine that the PD Site Plan does meet the intent of this ordinance, the PD Site Plan may be approved in accordance with the procedures of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02] and with the requirements of this ordinance; however, should the Planning and Zoning Commission determine that the PD Site Plan does not meet the intent of this ordinance, the Planning and Zoning Commission shall deny the PD Site Plan and the applicant shall be required to submit a PD Development Plan in accordance with Article 10, Planned Development Regulations, of the Unified Development Code (UDC) [Ordinance No. 20-02] and this ordinance.*

(C) GENERAL STANDARDS.

The following general standards shall apply for all *Subdistricts* as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance:

- (1) Development Standards. *Unless otherwise stipulated by this Planned Development District, all property situated within any Subdistrict shall be subject to the development standards stipulated by the General Overlay District Standards as outlined in Section 06.02, General Overlay District Standards, of Article 5, Development Standards, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.*
- (3) Landscape Buffers. *All landscape buffers shall be provided as follows:*
- (a) Landscape Buffer Adjacent to the IH-30 Frontage Road. *A minimum of a 20-foot landscape buffer shall be provided along the frontage of the IH-30 Frontage Road (outside of and beyond any required right-of-way), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering/curvilinear six (6) foot sidewalk/trail shall be constructed within the 20-foot landscape buffer.*

Exhibit 'G'
Development Standards

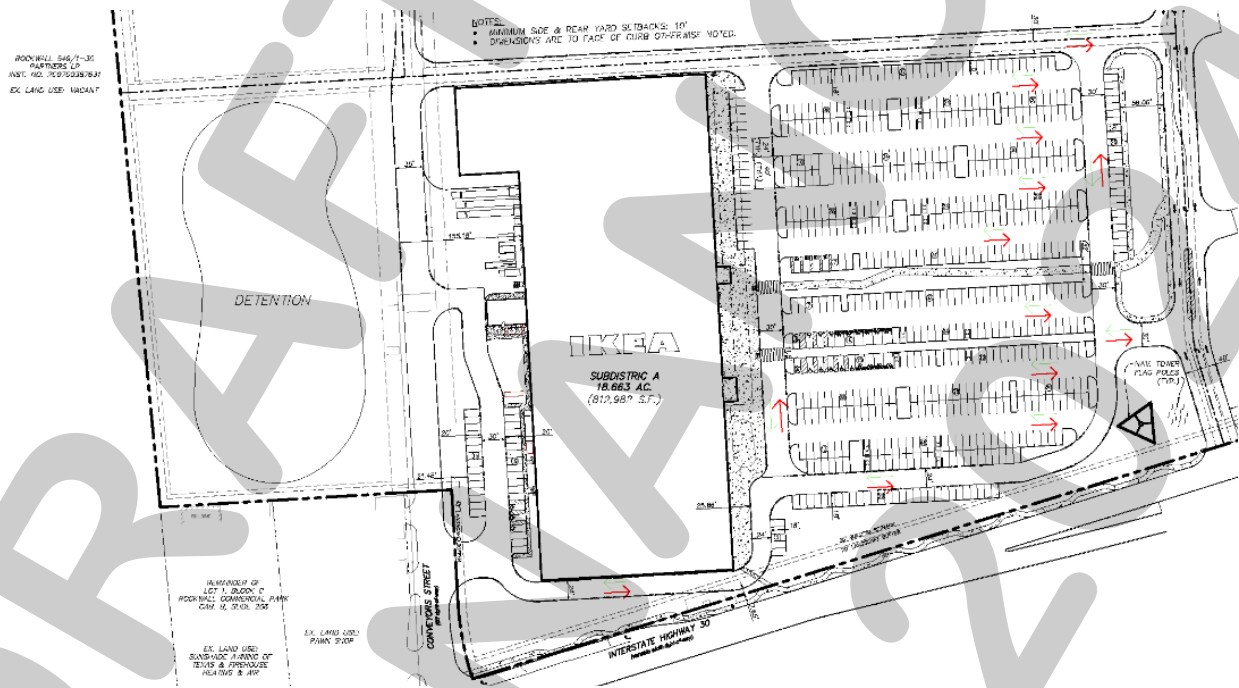
- (b) Landscape Buffer Adjacent to Stodghill Road (FM-3549). A minimum of a 20-foot landscape buffer shall be provided along the frontage of the Stodghill Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A five (5) foot sidewalk shall be constructed within the 20-foot landscape buffer.
- (c) Landscape Buffer Adjacent to Conveyor Street and Justin Road. A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Conveyor Street and Justin Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. In addition, one (1) canopy tree and one (1) accent tree shall be planted per 50-linear feet of frontage. An eight (8) foot trail shall be constructed within the ten (10) foot landscape buffer.
- (2) Open Space. A minimum of 20.00% of the gross land area (*i.e. a minimum of 13.4118-acres*) within the entire Planned Development District shall be devoted to public and private open space. Detention and retention areas, and landscape/open space areas greater than or equal to 20-feet in width may be counted towards the open space requirement. Open space may be satisfied by either public, private, or a combination of public and private open space.
- (3) Variations/Exceptions. Variations and exceptions to the requirements of this ordinance shall be submitted and approved in accordance with the process and procedures set forth in Article 11, *Development Applications and Review procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

Exhibit 'G'
Development Standards

(D) SUBDISTRICT A: LARGE FORMAT RETAILER

- (1) **Concept Plan.** Development within *Subdistrict A* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform with [1] the *Overall Concept Plan* -- contained in *Exhibit 'D'* of this ordinance --, and [2] *Figure 1. Subdistrict A Concept Plan* below.

FIGURE 1. SUBDISTRICT A CONCEPT PLAN



- (2) **Building Elevations.** Development within *Subdistrict A* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform to the *Building Elevations* depicted in the *Conceptual Building Elevations | Subdistrict A* contained in *Exhibit 'F'* of this ordinance.

- (3) **Permitted Land Uses.** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict A* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:

(a) The following land uses shall be permitted ***By-Right***:

- WAREHOUSE/DISTRIBUTION ⁽¹⁾

NOTES:

⁽¹⁾: AS AN ACCESSORY LAND USE TO A GENERAL RETAIL STORE ONLY.

(b) The following land uses shall be expressly ***Prohibited***:

Exhibit 'G'
Development Standards

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- TEMPORARY FUNDRAISING EVENTS BY NON-PROFIT
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- BUSINESS SCHOOL
- CONVALESCENT CARE FACILITY/NURSING HOME
- DAYCARE WITH SEVEN (7) OR MORE CHILDREN
- RETAIL STORE WITH GASOLINE SALES THAT HAS TWO (2) OR LESS DISPENSERS (*I.E. MAXIMUM OF FOUR [4] VEHICLES*)
- RETAIL STORE WITH GASOLINE SALES THAT HAS MORE THAN TWO (2) DISPENSERS
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROPOFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE
- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- ELECTRICAL, WATCH, CLOCK, JEWELRY AND/OR SIMILAR REPAIR
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- FULL SERVICE CAR WASH AND AUTO DETAIL
- SELF SERVICE CAR WASH
- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM

Exhibit 'G'
Development Standards

- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- WHOLESALE SHOWROOM FACILITY
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

(4) **Density and Development Standards.** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict A -- as depicted on the Subdistrict Plan contained in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict A* shall conform to the standards depicted in *Table 1*, which are as follows:

TABLE 1: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ⁽¹⁾	25'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	75'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1:** FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2:** THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3:** BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4:** NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

(5) **Parking Requirements.** Parking requirements for specific land uses will be as calculated in Article 06, *Parking and Loading*, of the Unified Development Code (UDC); however, the following parking ratios shall apply regardless of these standards:

- (a) **Office:** One (1) Parking Space per 300 SF of Building Area.
- (b) **General Retail:** One (1) Parking Space per 250 SF of Building Area.
- (c) **Restaurant:** One (1) Parking Space per 100 SF of Building Area.
- (d) **Warehouse/Distribution:** One (1) Parking Space per 1,000 SF of Building Area.

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- (6) Off-Street Loading Requirements. Loading docks shall not face directly onto the IH-30 Frontage Road, but may be located along the northern, western, and eastern facing building facades without restriction. Three (3) tiered landscaping should be used to mitigate the visibility of these areas.
- (7) Residential Screening Requirements. Any development in *Subdistrict A* shall be exempt from the *Residential Adjacency Screening Requirements* stipulated in Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].
- (8) Building Materials and Design Standards. All buildings in *Subdistrict A* shall adhere to the following:
- (a) Building Materials. The following building materials shall be permitted: stone, brick, glass curtain wall, aluminum and glass storefront, glass block, tile, prefabricated metal panel (e.g. *ACM or Aluminum Composite Material panels*), custom painted tilt-up concrete panel, and custom Concrete Masonry Units (CMU) (i.e. *units that have been sandblasted, burnished, or that have a split face -- light weight block or smooth faced block shall be prohibited*). In addition, the use of cementitious materials (i.e. *fiber cement, stucco, cementitious lap siding, tilt-up concrete or similar materials approved by the Director of Planning and Zoning or his/her designee*) shall be permitted without limitation for use on the building's exterior façade; however, stucco shall not be used within the first four (4) feet from grade on a building's façade.
- (b) Articulation Requirements. The articulation requirements stipulated in Section 04.01, *General Commercial District Standards*, and Section 06.02, *General Overlay District Standards*, of the Unified Development Code (UDC) shall not apply to *Subdistrict A*; however, all buildings in *Subdistrict A* should generally include an articulated entryway that creates some relief in the front façade of the building. This element will be reviewed by the Architectural Review Board (ARB) with the *PD Site Plan*.
- (c) Roof Design Standards. Flat roofs with or without parapets may be permitted; however, all rooftop mechanical equipment and/or other rooftop appurtenances (excluding solar panels) shall not be visible at-grade from the boundaries of *Subdistrict A*.
- (d) Required Architectural Elements. All buildings shall be required to incorporate a minimum of two (2) of the following architectural elements:
- CANOPIES, AWNINGS, OR PORTICOS
 - RECESSES/PROJECTIONS
 - ARCADES
 - PEAKED ROOF FORMS
 - ARCHES
 - OUTDOOR PATIOS
 - DISPLAY WINDOWS
 - ARCHITECTURAL DETAILS (E.G. *TILE WORK AND MOLDINGS*) INTEGRATED INTO THE BUILDING'S FAÇADE
 - ARTICULATED GROUND FLOOR LEVELS OR BASES
 - ARTICULATED CORNICE LINE
 - INTEGRATED PLANTERS OR WING WALLS THAT INCORPORATE LANDSCAPE AND SITTING AREAS

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- OFFSETS, REVEALS, OR PROJECTING RIB EXPRESSING ARCHITECTURAL OR STRUCTURAL BAYS
- VARIED ROOF HEIGHTS

(9) Signage. All signage shall conform to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, the following shall apply:

- (a) Wall Signage. A business shall be allowed any number of attached wall signs, projection signs, canopy signs, or marquee signs, so long as the total face area of the attached signs do not exceed 22.00% of the aggregate area of the wall face on which they are affixed. Canopy signs may extend above or below the canopy band.
- (b) Freestanding Monopole Sign. *Subdistrict A* shall conform to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances for *Freestanding Monopole Signs*; however, one (1) *Freestanding Monopole Sign* in this *Subdistrict* may be a maximum of 120-feet in height, and have up to three (3) sign faces a maximum of 600 SF each (*i.e. an overall maximum signage area of 2,100 SF*). One (1) additional *Freestanding Monopole Signs* -- conforming to the setback requirements of the Municipal Code of Ordinances -- shall be permitted on the site may be established as *Freestanding Monopole Signs* or *Digital Sign* (at the same maximum size and square footage permitted for *Freestanding Monopole Signs* by the Municipal Code of Ordinances).
- (c) Digital Wall Signage. In addition to the 15.00% wall signage permitted above, two (2) 700 SF digital wall signs shall be permitted on the building. Digital wall signage shall be subject to the requirements for *Changeable Electronic Variable Message Signs* (CEVMS) as stipulated by Section 32-233(3) through Section 32-233(6) of the Municipal Code of Ordinances.
- (d) Parking Lot Banner Signs. Four (4), 12 SF parking lot banner signs shall be permitted per parking aisle (*i.e. a parking aisle consists of two [2] rows of parking on either side of a 24-foot access drive-aisle*). The sign face of a parking lot banner sign may be changed from time-to-time without the need to apply for a sign permit; however, a sign permit will be required to establish a parking lot banner sign.
- (e) Flag Pole Signs. Up to 12 flag poles with flags that have the company's name or logo shall be permitted at main points of ingress/egress into the site pending they do not exceed a maximum height of 30-feet. Flag poles displaying state or national flags shall meet the requirements of the Unified Development Code (UDC).
- (f) Traffic Signs. *Traffic Signs* shall adhere to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, *Traffic Signs* may be a maximum of five (5) feet in height.

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(E) SUBDISTRICT B: COMMERCIAL/RETAIL AND ENTERTAINMENT CENTER

(1) ***Permitted Land Uses.*** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict B -- as depicted on the Subdistrict Plan contained in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following shall apply:

(a) The following land uses shall be expressly ***Prohibited***:

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROPOFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS ⁽¹⁾
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE
- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE ⁽²⁾
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE

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- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- FULL SERVICE CAR WASH AND AUTO DETAIL
- SELF SERVICE CAR WASH
- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- WHOLESALE SHOWROOM FACILITY
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

NOTES:

- (1): UNLESS ACCESSORY TO A SPA OR HAIR SALON.
- (2): UNLESS ACCESSORY TO A GENERAL RETAIL STORE.

(2) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict B* -- as depicted on the *Subdistrict Plan* contained in Exhibit 'C' of this ordinance -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict B* shall conform to the standards depicted in *Table 5*, which are as follows:

TABLE 5: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ⁽¹⁾	25'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	60'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL WHEN NOT ADJACENT TO A RIGHT-OF-WAY.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

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- (3) Parking Requirements. For the purposes of calculating the required parking within *Subdistrict B* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance --, the parking requirement for a particular land use or building may be satisfied by any property within the *Subdistrict* as long as the provided parking is: [1] not necessary for an existing land use, building or structure, and [2] is situated within 400-feet of the land use, building or structure being served.
- (4) Residential Adjacency. The portion of *Subdistrict B* that abuts *Subdistrict D* shall be exempt from the *Residential Adjacency Screening Requirements* stipulated in Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC).
- (5) Signage. In addition to the restrictions in Chapter 32, *Signs*, of the Municipal Code of Ordinances, and the requirements of this Planned Development District ordinance, *Subdistrict B* shall be subject to the following signage requirements:

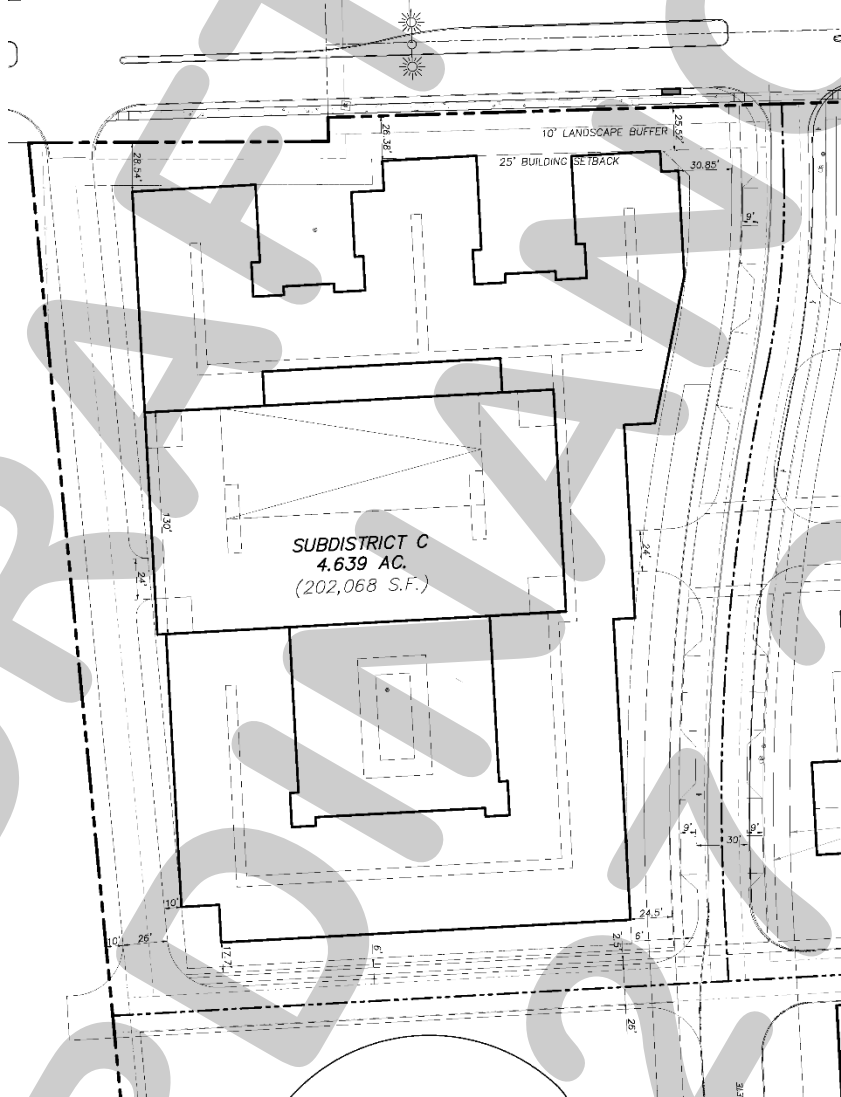
(a) Multi-Tenant Pole Signs.

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(F) SUBDISTRICT C: URBAN RESIDENTIAL

- (1) **Concept Plan.** Development within *Subdistrict C* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform with [1] the *Overall Concept Plan* -- contained in *Exhibit 'D'* of this ordinance --, and [2] *Figure 2. Subdistrict C Concept Plan* below.

FIGURE 2. SUBDISTRICT C CONCEPT PLAN



- (2) **Building Elevations.** Development within *Subdistrict C* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform to the *Building Elevations* depicted in the *Conceptual Building Elevations | Subdistrict C* contained in *Exhibit 'F'* of this ordinance.
- (3) **Permitted Land Uses.** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict C* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article

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04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following shall apply:

(a) The following land uses shall be the only land use permitted By-Right:

- URBAN RESIDENTIAL ^{(1), (2) & (3)}
- HOME OCCUPATION ⁽⁴⁾

NOTES:

⁽¹⁾: FOR THE PURPOSES OF THIS PLANNED DEVELOPMENT DISTRICT ORDINANCE, URBAN RESIDENTIAL SHALL BE DEFINED AS A CONDOMINIUM BUILDING WITH MULTI-FAMILY DWELLING UNITS, WITHIN WHICH DESIGNATED DWELLING UNITS ARE CONVEYED VIA FEE SIMPLE TITLE, WITH AN UNDIVIDED INTEREST IN THE BUILDING'S COMMON ELEMENTS, TO INCLUDE, BUT NOT BE LIMITED TO, HALLS, STAIRS, ELEVATORS, ROOF, PARKING SPACE, AND THE LAND WHEN THE BUILDING IS NOT CONSTRUCTED ON LEASED LAND. BASED ON THIS DEFINITION, ALL CONDOMINIUMS SHALL MEET THE FOLLOWING: [1] EACH UNIT IN A PROJECT HAS SEPARATE UTILITIES THAT ARE INDIVIDUALLY METERED, AND [2] EACH UNIT IS CONVEYED VIA A FEE SIMPLE DEED.

⁽²⁾: A MAXIMUM 250-DWELLING UNITS ARE PERMITTED WITHIN AN URBAN RESIDENTIAL DEVELOPMENT THAT SHALL INCORPORATE A PARKING GARAGE THAT IS WRAPPED BY UNITS. THIS DEVELOPMENT SHALL HAVE MINIMAL SURFACE PARKING FOR GUESTS, EMPLOYEES, AND VISITORS. THIS DEVELOPMENT MAY BE A MAXIMUM OF 250-UNITS ON FOUR (4) ACRES (EXCLUDING ROADWAYS). FACADES OF THIS BUILDING SHALL GENERALLY ADHERE TO THE GENERAL OVERLAY DISTRICT STANDARDS; HOWEVER, INTERIOR FACING FACADES (I.E. FACING TOWARDS AN INTERNAL COURTYARD) MAY BE 100% STUCCO OR OTHER CEMENTIOUS MATERIAL PERMITTED BY THE UNIFIED DEVELOPMENT CODE (UDC).

⁽³⁾: THIS INCLUDES ACCESSORY LAND USES THAT ARE AMENITIES TO THE PROPOSED CONDOMINIUM LAND USE, WHICH INCLUDE **■**.

⁽⁴⁾: AS AN ACCESSORY LAND USE TO AN URBAN RESIDENTIAL UNIT ONLY.

(4) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict C -- as depicted on the Subdistrict Plan contained in Exhibit 'C' of this ordinance --* shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict C* shall conform to the standards depicted in *Table 3*, which are as follows:

TABLE 3: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ⁽¹⁾	15'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	75'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

¹: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.

²: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL WHEN NOT

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ADJACENT TO A RIGHT-OF-WAY.

- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

(5) Parking Requirements. The minimum parking requirements for *Urban Residential* shall conform to the parking minimums as depicted in *Table 4*, which are as follows:

TABLE 4: LOT DIMENSIONAL REQUIREMENTS

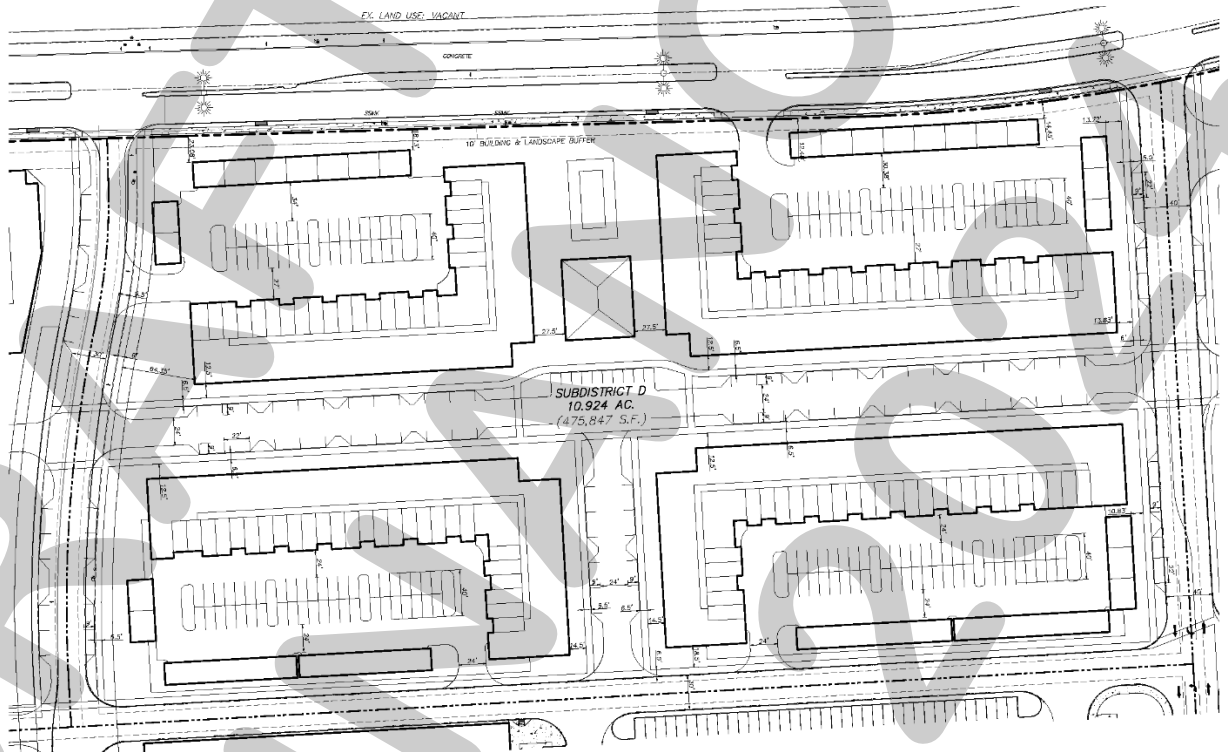
PARKING GARAGE	PARKING REQUIREMENT
ALL UNITS REGARDLESS OF BEDROOMS	1.50 PARKING SPACES/UNIT
SURFACE PARKING	
ONE (1) BEDROOM UNITS	1.50 PARKING SPACES/UNIT
TWO (2) BEDROOM UNITS	2.00 PARKING SPACES/UNIT
THREE (3) BEDROOM UNITS	2.50 PARKING SPACES/UNIT

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(G) SUBDISTRICT D: LOW RISE MULTI-FAMILY COMMUNITY

- (6) **Concept Plan.** Development within *Subdistrict D* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'D'* of this ordinance -- shall generally conform with [1] the *Overall Concept Plan* -- contained in *Exhibit 'D'* of this ordinance --, and [2] *Figure 2. Subdistrict D Concept Plan* below.

FIGURE 2. SUBDISTRICT D CONCEPT PLAN



- (7) **Building Elevations.** Development within *Subdistrict D* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform to the *Building Elevations* depicted in the *Conceptual Building Elevations | Subdistrict D* contained in *Exhibit 'F'* of this ordinance.

- (8) **Permitted Land Uses.** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict D* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following shall apply:

(b) The following land uses shall be the only land use permitted ***By-Right***:

- LOW-RISE MULTI-FAMILY COMMUNITY (1), (2) & (3)
- HOME OCCUPATION (4)

NOTES:

(1): FOR THE PURPOSES OF THIS PLANNED DEVELOPMENT DISTRICT ORDINANCE, URBAN RESIDENTIAL SHALL BE DEFINED AS A CONDOMINIUM BUILDING WITH MULTI-FAMILY

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DWELLING UNITS, WITHIN WHICH DESIGNATED DWELLING UNITS ARE CONVEYED VIA FEE SIMPLE TITLE, WITH AN UNDIVIDED INTEREST IN THE BUILDING'S COMMON ELEMENTS, TO INCLUDE, BUT NOT BE LIMITED TO, HALLS, STAIRS, ELEVATORS, ROOF, PARKING SPACE, AND THE LAND WHEN THE BUILDING IS NOT CONSTRUCTED ON LEASED LAND. BASED ON THIS DEFINITION, ALL CONDOMINIUMS SHALL MEET THE FOLLOWING: [1] EACH UNIT IN A PROJECT HAS SEPARATE UTILITIES THAT ARE INDIVIDUALLY METERED, AND [2] EACH UNIT IS CONVEYED VIA A FEE SIMPLE DEED.

- (2): A MAXIMUM 250-DWELLING UNITS ARE PERMITTED WITHIN AN LOW-RISE MULTI-FAMILY COMMUNITY MAY BE SURFACE PARKING AND CONSIST OF 250-UNITS ON NINE (9) ACRES. A MINIMUM OF 25.00% OF ALL UNITS SHALL HAVE GARAGES DEDICATED TO SPECIFIC UNITS AND TO WHICH THE GARAGES PROVIDE DIRECT ACCESS TO THE UNIT.
- (3): THIS INCLUDES ACCESSORY LAND USES THAT ARE AMENITIES TO THE PROPOSED CONDOMINIUM LAND USE, WHICH INCLUDE [REDACTED].
- (4): AS AN ACCESSORY LAND USE TO AN URBAN RESIDENTIAL UNIT ONLY.

(9) **Density and Development Standards.** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict D* -- as depicted on the *Subdistrict Plan contained in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict D* shall conform to the standards depicted in *Table 5*, which are as follows:

TABLE 5: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ^{(1) & (5)}	10'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	60'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL WHEN NOT ADJACENT TO A RIGHT-OF-WAY.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.
- 5: AWNINGS, PATIOS, STOOPS, OR SIMILAR RESIDENTIAL ENTRY FEATURES (AS DETERMINED BY THE DIRECTOR OF PLANNING AND ZONING) MAY EXTEND A MAXIMUM OF FIVE (5) FEET INTO THE FRONT YARD BUILDING SETBACK AND REQUIRED TEN (10) FOOT LANDSCAPE BUFFER ALONG JUSTIN ROAD.

(6) **Parking Requirements.** The minimum parking requirements for *Low-Rise Multi-Family Community* shall conform to the parking minimums as depicted in *Table 6*, which are as follows:

TABLE 6: LOT DIMENSIONAL REQUIREMENTS

PARKING GARAGE	PARKING REQUIREMENT
----------------	---------------------

Exhibit 'G'
Development Standards

ALL UNITS REGARDLESS OF BEDROOMS	1.50 PARKING SPACES/UNIT
SURFACE PARKING	PARKING REQUIREMENT
ONE (1) BEDROOM UNITS	1.50 PARKING SPACES/UNIT
TWO (2) BEDROOM UNITS	2.00 PARKING SPACES/UNIT
THREE (3) BEDROOM UNITS	2.50 PARKING SPACES/UNIT

DRAFT
ORDINANCE
08.27.2024

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/23/2024

PROJECT NUMBER: Z2024-036
PROJECT NAME: SUP for a Detached Garage at 921 N. Alamo Road
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	08/16/2024	Needs Review

08/20/2024: Z2024-036; Specific Use Permit (SUP) a Detached Garage at 921 N. Alamo Road
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) to allow a Detached Garage on a 0.530-acre tract of land identified as a portion of Block 4, Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, and addressed as 921 N Alamo Road.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2024-036) in the lower right-hand corner of all pages on future submittals.

I.4 According to the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), a Detached Garage exceeding the maximum size of 625 SF requires a Specific Use Permit (SUP) in a Single-Family 10 (SF-10) District.

I.5 The proposed Detached Garage will be 32.1875-feet by 24.645-feet and have a total square footage of 752 SF. According to the Rockwall Central Appraisal District (RCAD), the square footage of the primary structure is 1,956 SF. The property also has two (2) accessory structures that are 180 SF and 324 SF. Based on this the proposed structure appears to exceed the allowable number of accessory structures permitted on a lot, the size requirements for a Detached Garage by 127 SF, and the height of an accessory structure by one (1) foot as measured at the mid-point of the roof.

I.6 The height of the proposed accessory structure is 16-feet as measured at the mid-point of the roof. According to Article 05, District Development Standards, of the Unified Development Code (UDC) the maximum height of accessory structures is 15-feet. This will require approval of the City Council pending a recommendation from the Planning and Zoning Commission.

I.7 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

(1) The development of the Subject Property shall generally conform to the Site Plan and Survey as depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.

(2) The construction of a Detached Garage on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the Specific Use Permit (SUP) ordinance.

(3) The Detached Garage shall not exceed a maximum size of 752 SF.

(4) The Detached Garage shall not be used as a Guest Quarters or Secondary Living Quarters.

(5) The subject property shall be limited to a maximum of three (3) accessory structures.

(6) The maximum height of the Detached Garage shall not exceed a total height of 19-feet as measured to highest point of the pitched roof.

(7) The Detached Garage/Accessory Structure may not be sold or conveyed separately.

M.8 According to Subsection 07.04: Accessory Structure Development Standards of Article 05, District Development Standards, of the UDC, detached garages accessible from the front shall be a minimum of 20-feet behind the front façade of the primary structure. In this case, the proposed Detached Garage is 6 feet and 4 inches in front of the front façade of the primary structure. No accessory structures are permitted in the front yard of a residence. Provide an updated Residential Plot Plan showing the Detached Garage back 20 feet behind the front façade of the home and the locations of the existing accessory structures.

I.9 The maximum lot coverage in a Single-Family 10 (SF-10) District is 45%. The current lot coverage is ten (10) percent. However, with the proposed addition the lot coverage increases to 13%. The addition will not affect the maximum lot coverage requirement.

M.10 The side setback for Single-Family 10 (SF-10) District is six (6) feet. Currently, the Residential Plot Plan shows Detached Garage 5-feet, 4-inches from the side property line. Revise the Residential Plot Plan to be at least six (6) feet from the side property line. (Subsection 07.01, of Article 05, of the UDC)

M.11 Please review the attached Draft Ordinance prior to the August 27, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than September 4, 2024. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 4, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 10, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on August 27, 2024.

I.13 The projected City Council meeting dates for this case will be September 16, 2024 (1st Reading) and October 7, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/22/2024	Approved w/ Comments

- 08/22/2024:
1. Additional comments may come at time of building permit.
 2. Must be concrete. Asphalt not allowed.
 3. All concrete flatwork will require a separate permit through the building department.
 4. Existing driveway and approach must be removed and curb installed.
 5. Please show and label the 10' utility easement required along all public street frontages.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2024	Needs Review

08/23/2024: * REQUIRES A 6' SIDE SETBACK FROM THE PROPERTY LINE - THIS PLAN DOES NOT MEET THE REQUIREMENT

* ACCESSORY BUILDINGS ARE REQUIRED TO BE SITUATED BEHIND THE FRONT FACADE OF THE PRIMARY STRUCTURE - THIS PLAN DOES NOT MEET THE REQUIREMENT

* THERE ARE ALREADY 2 ACCESSORY STRUCTURES IN THE BACKYARD OF THE PROPERTY. DO THEY PLAN ON REMOVING THESE?

*SEPARATE PERMIT SUBMITTAL TO THE BUILDING INSPECTION DEPARTMENT IS REQUIRED

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/19/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/19/2024	Approved

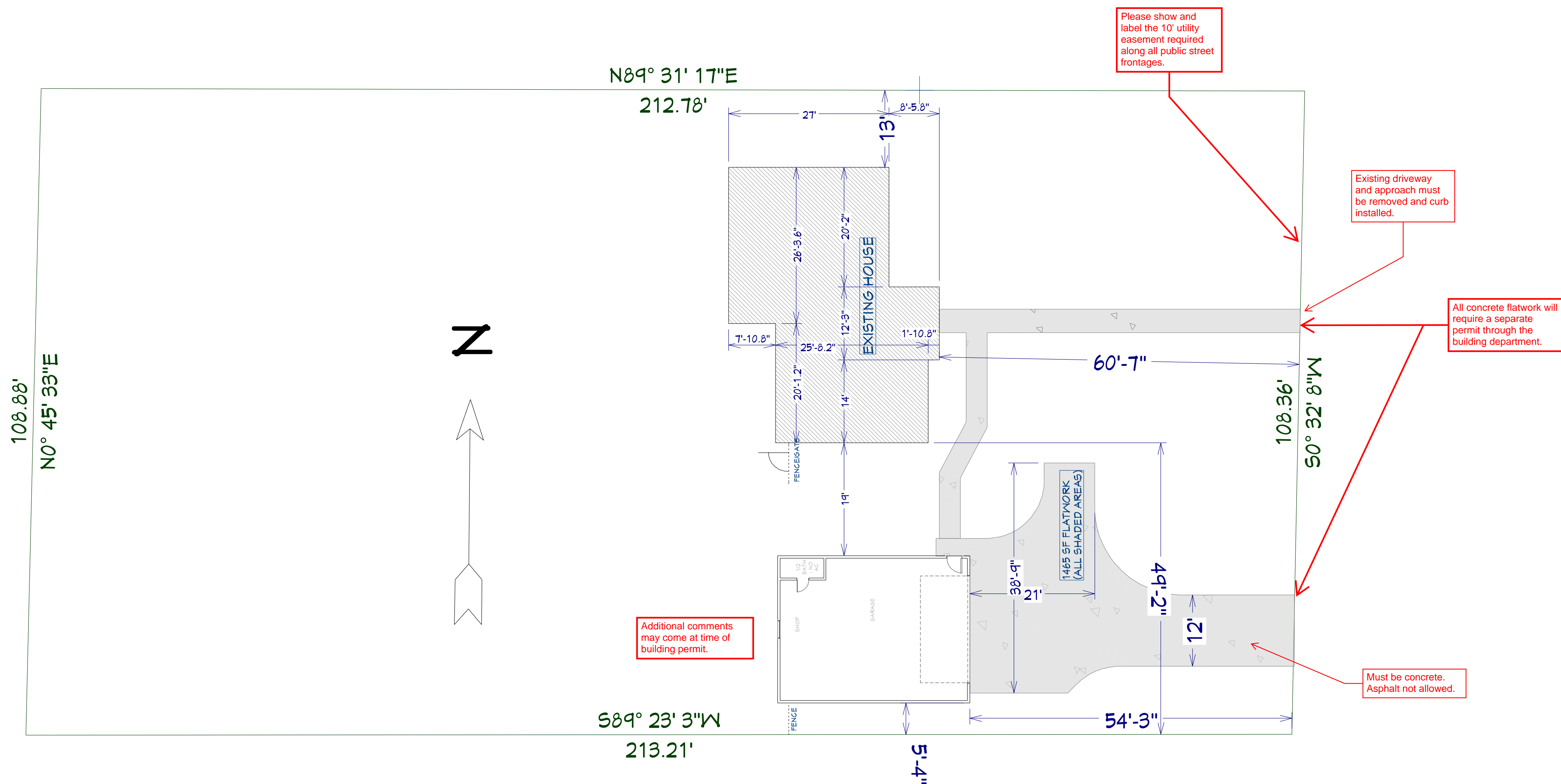
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/14/2024	Approved

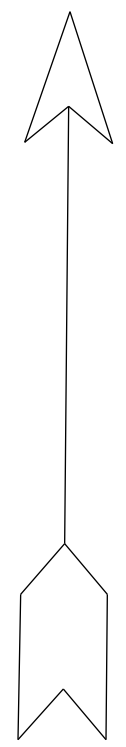
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/19/2024	Approved

No Comments



N



Additional comments may come at time of building permit.

Please show and label the 10' utility easement required along all public street frontages.

Existing driveway and approach must be removed and curb installed.

All concrete flatwork will require a separate permit through the building department.

Must be concrete. Asphalt not allowed.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 921 N. Alamo Road

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

Residential street

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

Residential

CURRENT USE

Residential / yard

PROPOSED ZONING

PROPOSED USE

residential detached garage

ACREAGE

.53

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER

Travis Block

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

921 N. Alamo Rd

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75087

CITY, STATE & ZIP

PHONE

469-235-4261

PHONE

E-MAIL

trablock@icloud.com

E-MAIL

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Travis Block [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ ANNUAL TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF August, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

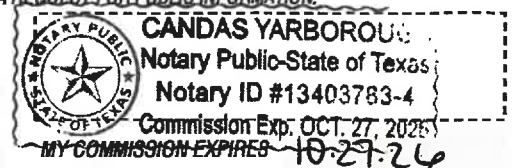
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF August, 2024.

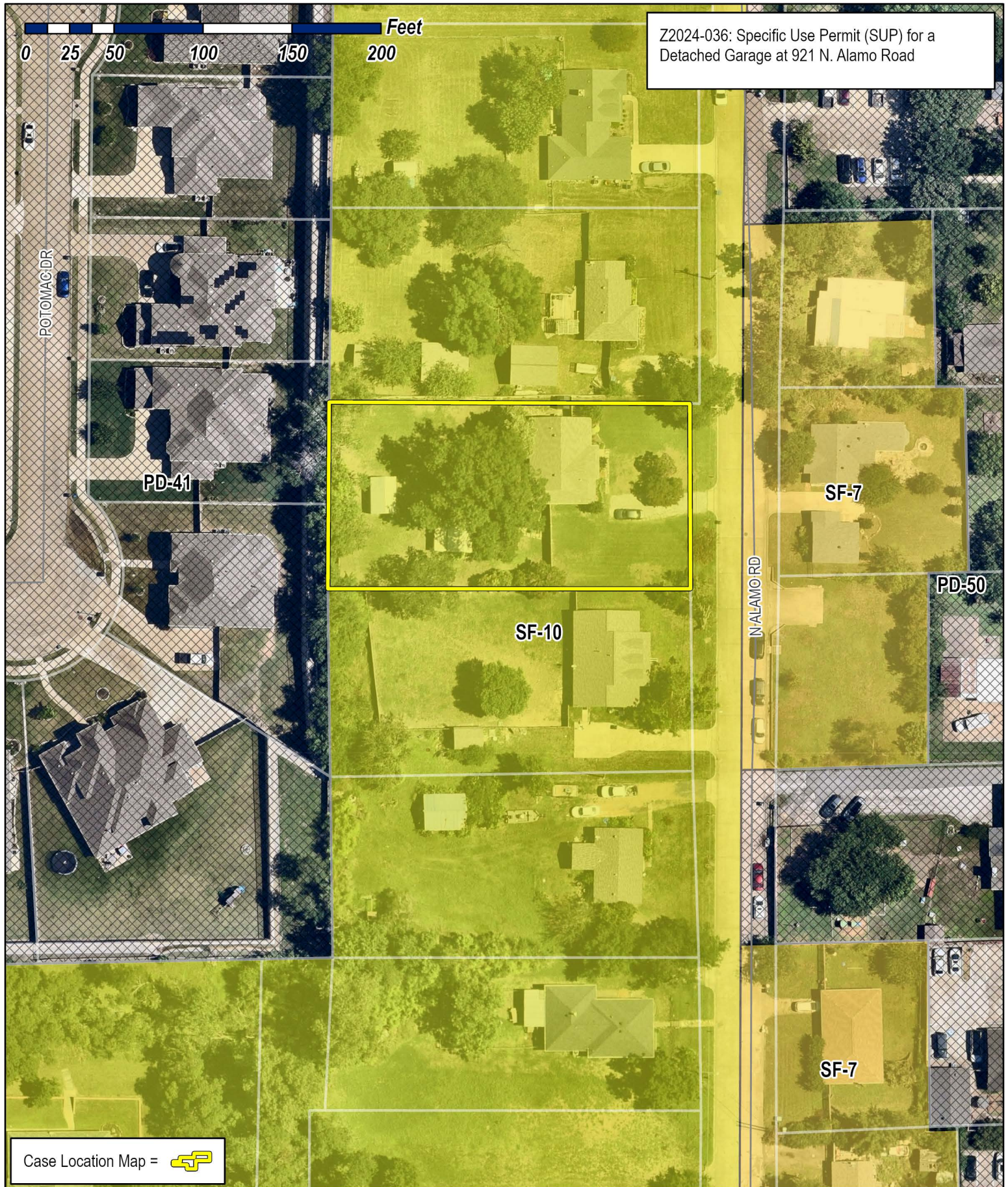
OWNER'S SIGNATURE

[Signature]


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Candas Yarborough





Z2024-036: Specific Use Permit (SUP) for a Detached Garage at 921 N. Alamo Road

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

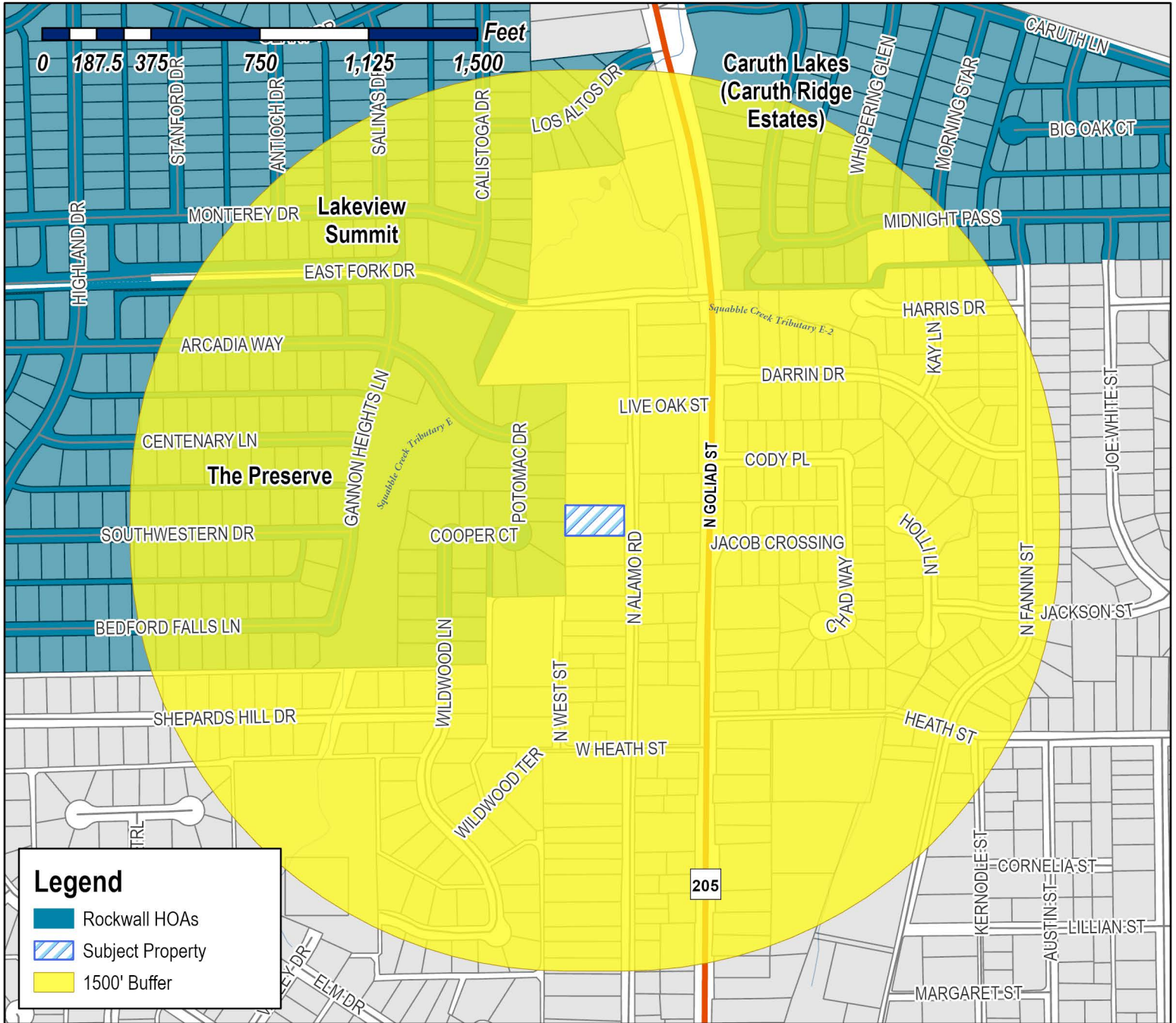
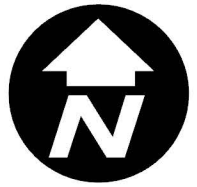




City of Rockwall

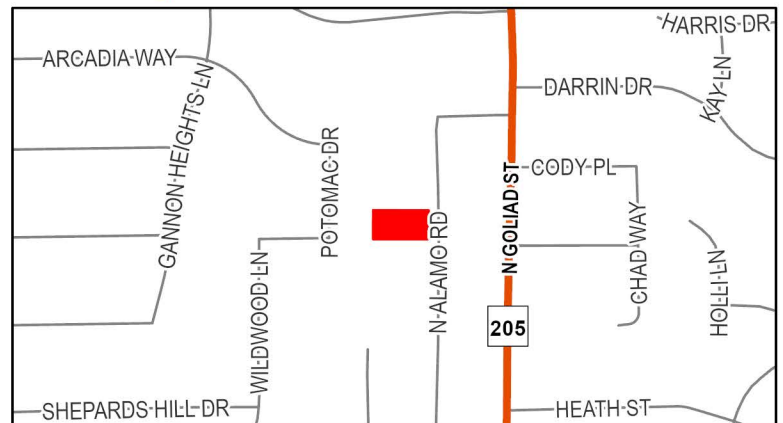
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Case Number: Z2024-036
Case Name: SUP for a Detached Garage
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 921 N. Alamo Road

Date Saved: 8/15/2024
 For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Zavala, Melanie
Sent: Wednesday, August 21, 2024 2:54 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Email [Z2024-036]
Attachments: HOA Map (08.15.2024).pdf; Public Notice (P&Z) (08.19.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, August 23, 2024*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, September 10, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 16, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-036: SUP for a Detached Garage

Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Gardener Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.

Thank you,

Melanie Zavala

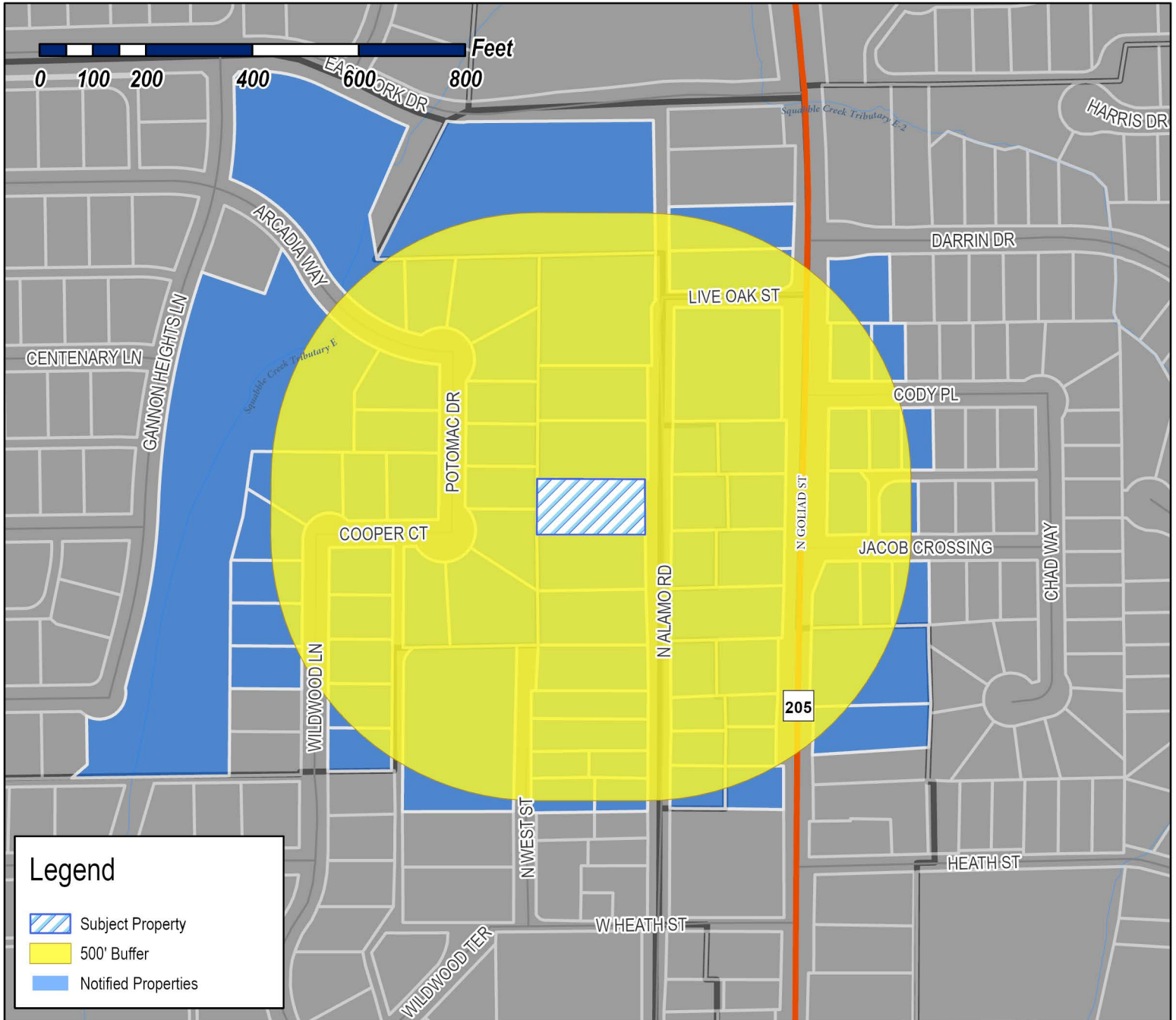
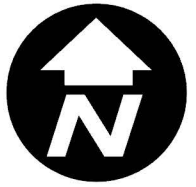
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](https://www.rockwalltx.gov/planning-zoning)
972-771-7745 Ext. 6568



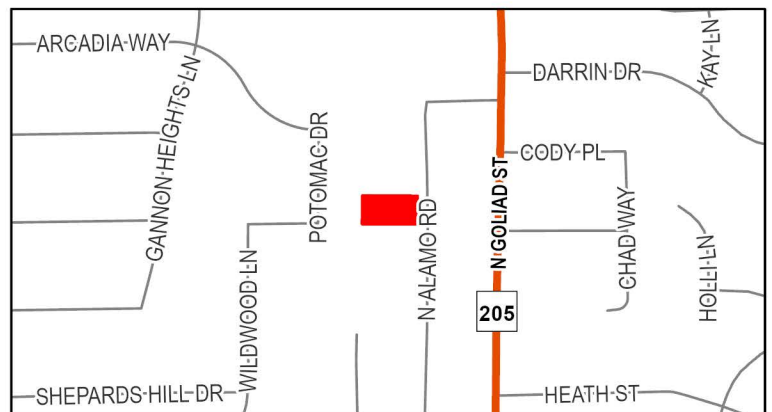
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2024-024
Case Name: SUP for a Detached Garage
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 921 N. Alamo Road



Date Saved: 8/15/2024

For Questions on this Case Call: (972) 771-7745

RESIDENT
1001 N GOLIAD
ROCKWALL, TX 75087

CALLIER JENNA AND LOGAN
104 RUSH CREEK
HEATH, TX 75032

CURANOVIC JOHN
109 ELM CREST DR
ROCKWALL, TX 75087

JARED LANDON CAIN 2005 TRUST
1150 CRESTCOVE DR
ROCKWALL, TX 75087

DAFFRON JAMES R AND DEBBIE A
12207 DARK HOLLOW RD
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN
1408 S LAKESHORE DR
ROCKWALL, TX 75087

STRATEGIC MANAGEMNET SERVICES LLC
14124 EDGECREST DR
DALLAS, TX 75254

DOUBLE T VENTURES LLC
1500 S KREYMER LN
WYLIE, TX 75098

BARNETT JOSEPH RODNEY & LADONNA
1855 HIDDEN HILLS
ROCKWALL, TX 75087

CARLON WILLIAM ANDREW
192 JACOB CROSSING
ROCKWALL, TX 75087

FRYER WILLIAM L III AND LAUREN S
193 JACOB CROSSING
ROCKWALL, TX 75087

RESIDENT
194 CODY PLACE
ROCKWALL, TX 75087

CROY DANNY L
195 CODY PL
ROCKWALL, TX 75087

RESIDENT
196 JACOB CROSSING
ROCKWALL, TX 75087

STEWART DEBORAH LYNN
196 DARRIN DR
ROCKWALL, TX 75087

RESIDENT
198 CODY PLACE
ROCKWALL, TX 75087

KEANE PARKER F
199 CODY PL
ROCKWALL, TX 75087

CHARLES & JANE SIEBERT LIVING TRUST
CHRISTOPHER CHARLES SIEBERT & JANE M
SIEBERT - TRUSTEES
199 JACOB XING
ROCKWALL, TX 75087

917 PROPERTIES LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 5 LLC
2 MANOR COURT
HEATH, TX 75032

RESIDENT
200 JACOB CROSSING
ROCKWALL, TX 75087

MILLER ROBERT AND KATY
202 CODY PL
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC
208 SUMMIT RIDGE
ROCKWALL, TX 75087

WEST MICHAEL
299 SHENNENDOAH LANE
ROCKWALL, TX 75087

AUSTIN MICHAEL CAIN 2005 TRUST
301 COOPER COURT
ROCKWALL, TX 75087

MATTINGLY LESLIE G AND JENNIFER S TRUSTEES
2023 G J MATTINGLY REVOCABLE TRUST
302 ARCADIA WAY
ROCKWALL, TX 75087

HARKLAU CAROLINE
312 DARTBROOK
ROCKWALL, TX 75087

METOYER GREGORY K AND FRANCES M
317 COOPER STREET
ROCKWALL, TX 75087

WEAST BRIAN J AND
CYNTHIA C BROWN
318 ARCADIA WAY
ROCKWALL, TX 75087

WEBER MARY JANE
318 COOPER CT
ROCKWALL, TX 75087

BOLER RICKY D JR AND
NANCY L GUTIERREZ
334 COOPER COURT
ROCKWALL, TX 75087

RESIDENT
348 COOPER CT
ROCKWALL, TX 75087

RB40 INVESTMENTS LLC
400 CHIPPENDALE DRIVE
HEATH, TX 75032

TURNER KYLE RADEY
4002 BROWNSTONE CT
DALLAS, TX 75204

ADAT ESTATE LLC
482 ARCADIA WAY
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA
602 W RUSK ST
ROCKWALL, TX 75087

FRANK RYAN ANDREW AND WHITNEY JANE
702 WILDWOOD LANE
ROCKWALL, TX 75087

SANDERSON SCOTT FREDERICK AND CELESTIAL
DAWN
718 WILDWOOD LANE
ROCKWALL, TX 75087

MAYNARD JEREMY SHAME AND
AMY ELIZABETH FLORES
731 WILDWOOD LANE
ROCKWALL, TX 75087

PHILIPS SHIBU & LEJI
734 WILDWOOD LN
ROCKWALL, TX 75087

HENDRICKSON PAUL A AND PATRICIA A
747 WILDWOOD LANE
ROCKWALL, TX 75087

RECSA 911 NORTH GOLIAD STREET SERIES
750 JUSTIN RD
ROCKWALL, TX 75087

MCDONALD JR EDWARD & KAYLA
752 WILDWOOD LN
ROCKWALL, TX 75087

CRAWFORD HAROLD E JR
763 WILDWOOD LANE
ROCKWALL, TX 75087

OLDEN FREDERICK EINER AND LISA HALSTEAD
768 WILDWOOD LN
ROCKWALL, TX 75087

MATTINGLY MICHAEL ANTHONY AND EMILY P
779 WILDWOOD LANE
ROCKWALL, TX 75087

MASON MARK S & TAMARA M
802 POTOMAC DRIVE
ROCKWALL, TX 75087

STEPHEN PRAMELA AND STEPHEN JOHN
818 POTOMAC DR
ROCKWALL, TX 75087

AIBKHANOV ASHOT AND JOLI RASHID
834 POTOMAC DR
ROCKWALL, TX 75087

MCCULLEY LIVING TRUST
DARREN WAYNE MCCULLEY & MICHELE JUNE
MCCULLEY - CO-TRUSTEES
837 POTOMAC DR
ROCKWALL, TX 75087

KUNJACHEN BLESSY AND SHIBU
852 POTOMAC DRIVE
ROCKWALL, TX 75087

MAYTAK LINA & MARK HILSTAD
853 POTOMAC DRIVE
ROCKWALL, TX 75087

PALMER WINDY E AND DONALD L
868 POTOMAC DRIVE
ROCKWALL, TX 75087

RESIDENT
905 N GOLIAD
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH
906 N ALAMO RD
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH
906 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
907 N GOLIAD ST
ROCKWALL, TX 75087

JC GAERLAN LLC
907 NORTH ALAMO ROAD
ROCKWALL, TX 75087

PIERCE CAROLYN AND RUSSELL DAVID
908 N ALAMO RD
ROCKWALL, TX 75087

HEAVENLY HANDS BIRTHING CENTER PLLC
908 N GOLIAD ST
ROCKWALL, TX 75087

MARTINKUS NICOLE
908 N WEST ST
ROCKWALL, TX 75087

MOLINA JOE C II
909 N ALAMO
ROCKWALL, TX 75087

RESIDENT
909 N GOLIAD
ROCKWALL, TX 75087

MCFADIN SARA TERESA
909 N WEST STREET
ROCKWALL, TX 75087

ZAVALA VICTOR V
910 N ALAMO RD
ROCKWALL, TX 75087

PERRY RUBY DELL
910 N WEST ST
ROCKWALL, TX 75087

WHITE TIMOTHY E
9104 PRIVATE ROAD 2325
TERRELL, TX 75160

LEWIS BEN
911 N ALAMO
ROCKWALL, TX 75087

RESIDENT
911 N GOLIAD
ROCKWALL, TX 75087

JONES PAMELA J
912 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
912 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
913 N ALAMO RD
ROCKWALL, TX 75087

BAXTER JAKE STEPHEN AND CATHERINE
ELIZABETH
915 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
915 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
917 N ALAMO
ROCKWALL, TX 75087

RESIDENT
917 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
918 N ALAMO
ROCKWALL, TX 75087

RESIDENT
919 N ALAMO
ROCKWALL, TX 75087

RESIDENT
919 N GOLIAD
ROCKWALL, TX 75087

BLOCK AMY AND TRAVIS
921 N ALAMO RD
ROCKWALL, TX 75087

BARRY BARBARA
922 N ALAMO RD
ROCKWALL, TX 75087

HUDSON SHELI O
923 N ALAMO
ROCKWALL, TX 75087

CHAVEZ ENRIQUE
923 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
924 N ALAMO
ROCKWALL, TX 75087

CRAWFORD JUANITA LIFE ESTATE AND
MICHAEL CRAWFORD
925 N ALAMO
ROCKWALL, TX 75087

RESIDENT
925 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
975 N ALAMO
ROCKWALL, TX 75087

THE PRESERVE HOMEOWNERS ASSOCIATION
INC
P.O. BOX 702348
DALLAS, TX 75370

THE PRESERVE HOMEOWNERS ASSOCIATION
INC
P.O. BOX 702348
DALLAS, TX 75370

CFPC INVESTMENTS LLC
PO BOX 1731
MARBLE FALLS, TX 78654

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-036: SUP for a Detached Garage

Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Gardener Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 10., 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-036: SUP for a Detached Garage

Please place a check mark on the appropriate line below:

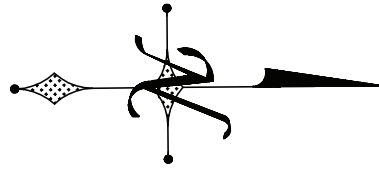
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



1529 E I-30, STE. 103
GARLAND, TEXAS 75043

SURVEY PLAT



FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 357 N. ALAMO ROAD, in the city of ROCKWALL Texas.

All that certain lot, tract or parcel of land situated in the J.H.B. SURVEY, Abstract No. 124, City of Rockwall, Rockwall County, Texas and being a tract of land described in deed to Corky Belanger, by deed recorded in Instrument Number 2020000030622, Deed Records, Rockwall County, Texas, (D.R.R.C.T.) and being more particularly described by metes and bounds as follows:

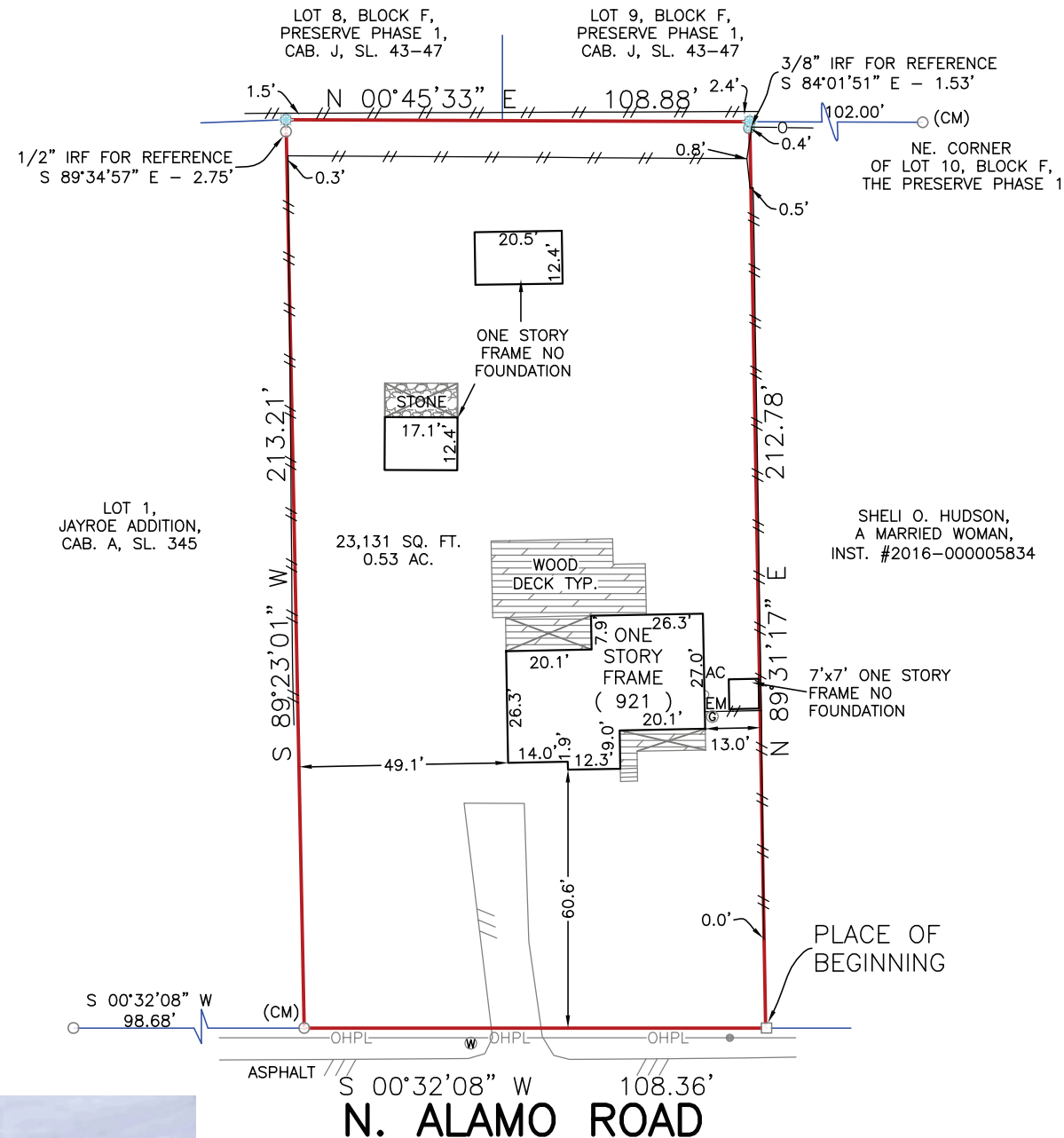
BEGINNING at a railroad spike found for corner being in the West line of N. Alamo Road and being at the Southwest corner of a tract of land described in deed to Sheli O. Hudson, a married woman, by deed recorded in Instrument Number 2016-000005834, (D.R.R.C.T.) and being at the Northeast corner of that tract herein described;

THENCE South 00 degrees 32 minutes 08 seconds West, a distance of 108.36 feet to a 1/2 inch iron rod found for corner, being at the Northeast corner of Lot 1, of Jayroe Addition, an addition recorded in Cabinet A, Slide 346, of the Map or Plat Records, Rockwall County, Texas;

THENCE South 89 degrees 23 minutes 01 seconds West, a distance of 213.21 feet to a point for corner, being in the East line of Lot 8, Block F, of Preserve Phase 1, an Addition recorded in Cabinet J, Slide 43-47, of the Map or Plat Records, Rockwall County, Texas, from which a 1/2 inch iron rod found bears South 89 degrees 34 minutes 57 seconds East, 2.75 feet for reference;

THENCE North 0 degrees 45 minutes 33 seconds East, a distance of 108.88 feet to a point for corner, being in the East line of Lot 9, of said Preserve Phase 1, from which a 3/8 inch iron rod found bears South 84 degrees 01 minutes 51 seconds East, 1.53 feet for reference;

THENCE North 89 degrees 31 minutes 17 seconds East, a distance of 212.78 feet to the PLACE OF BEGINNING and containing 23,131 square feet or 0.53 of an acre of land.



BEARINGS ARE BASED ON NAD 83
DATUM, TEXAS STATE PLANE
COORDINATE SYSTEM. NORTH
CENTRAL ZONE

ACCEPTED BY: _____



The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements.

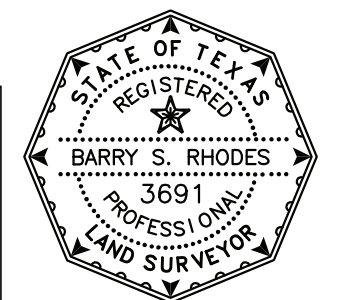
TITLE AND ABSTRACTING WORK FURNISHED BY LAWYERS TITLE
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

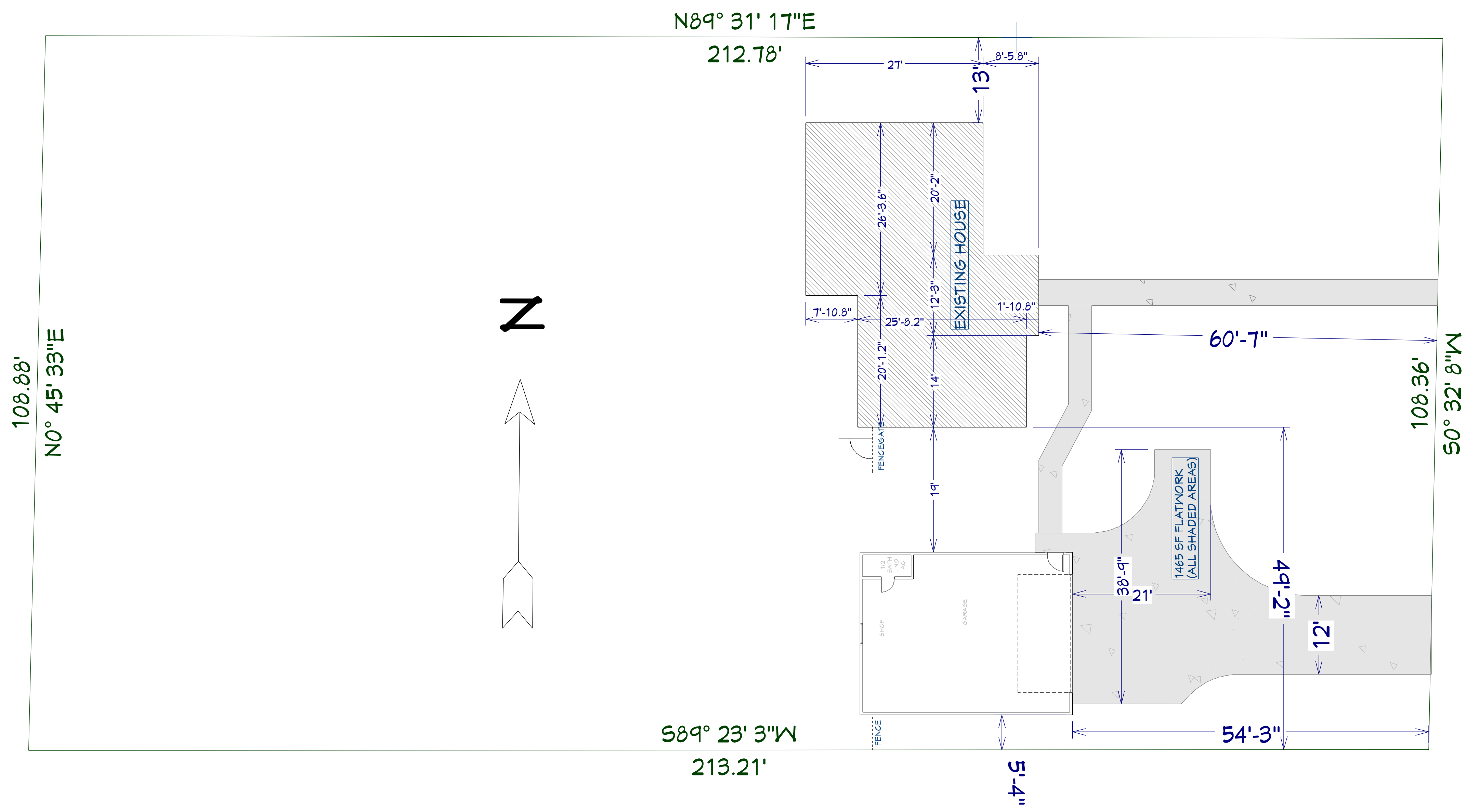
Scale: 1" = 40'
Date: 02/10/23
G. F. No.: 1901462300020
Job no.: 202300799
Drawn by: J.M.

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR LAWYERS TITLE

LEGEND

WOOD FENCE	---	IRON FENCE	---
CHAIN LINK	-o-	WIRE FENCE	-x-
BOUNDARY LINE	---		
EASEMENT SETBACK	---		
CM	○	CONTROLLING MONUMENT	
MRD	○	MONUMENTS OF RECORD DIGNITY	
○	○	1/2" IRON ROD FOUND	
○	○	1/2" YELLOW-CAPPED IRON ROD SET	
○	○	SET 'X' RR. SPIKE FOUND	
○	○	3/8" IRON ROD FOUND	
○	○	5/8" IRON ROD FOUND	
○	○	POINT FOR CORNER	
○	○	CABLE	○
○	○	ELECTRIC	○
○	○	CLEAN OUT	○
○	○	PE - POOL EQUIP	○
○	○	GAS METER	○
○	○	POWER POLE	○
○	○	FIRE HYDRANT	○
○	○	TELEPHONE	○
○	○	LIGHT POLE	○
○	○	WATER METER	○
○	○	MANHOLE	○
○	○	WATER VALVE	○
○	○	(UNLESS OTHERWISE NOTED)	





1"=10' SCALE

REV 03

HOME DESIGNED BY:
 AARON HAMILTON
 ABIDE HOME DESIGNS
 ROYSE CITY, TX / 972-593-0959
 AARON@ABIDEHOMEDESIGNS.COM

PLOT PLAN

BLOCK RESIDENCE
 921 N. ALAMO RD
 ROCKWALL, TX



DATE:
6/15/2024

SCALE:
1/4"=1'

SHEET:

4

Layout Page Table

Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	SCHEDULES & STYLE
4	PLOT PLAN
5	FOUNDATION/ROUGH-IN PLAN
6	ROOF PLAN - 1F
7	FRAMING PLAN - 1F

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

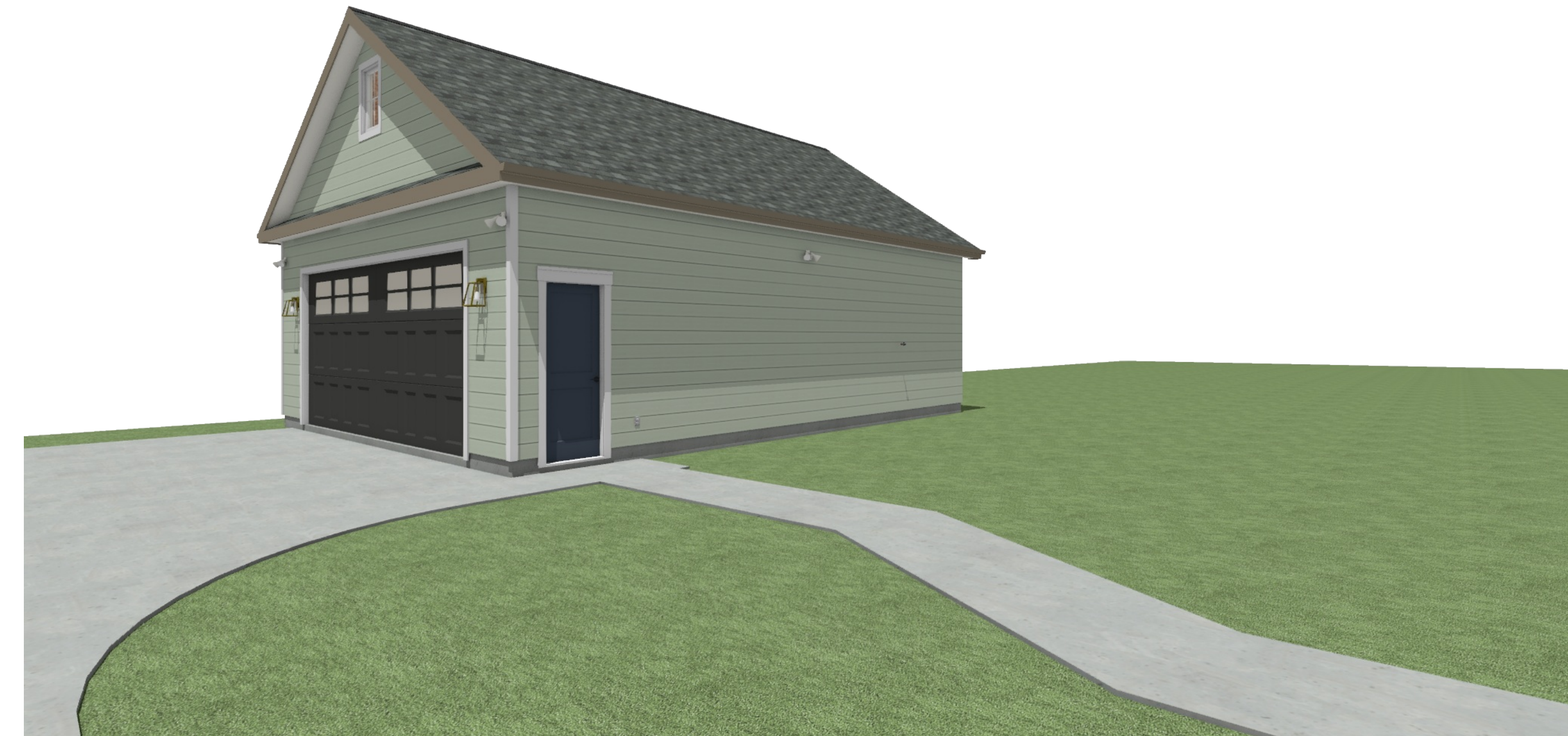
PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.



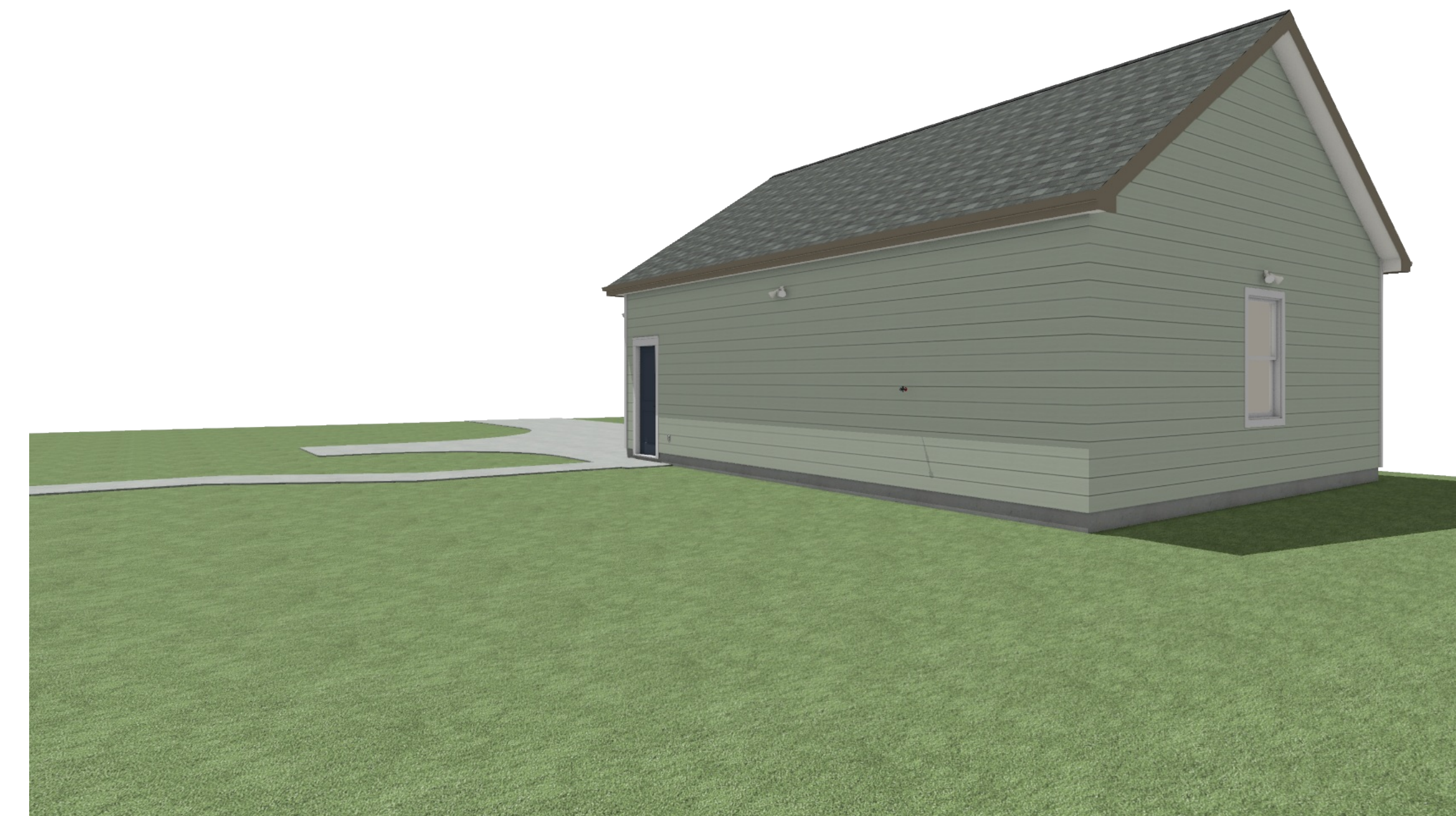
FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

TOTAL HEATED SF:	0 SF
TOTAL SLAB SF:	793 SF
TOTAL UNDER ROOF SF:	793 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	10/15/2023	AJH	INITIAL PLAN DEVELOPMENT
REV 02	11/20/2023	AJH	CONSTRUCTION PLANS
REV 02	4/23/2024	AJH	CORRECTED ADDRESS
REV 03	6/15/2024	AJH	MAJOR FLOORPLAN CHANGE

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST
 -2D ELECTRONIC CAD FILE AVAILABLE (.DWG, .DXF) UPON REQUEST
 -PLEASE REQUEST EITHER HOMEOWNER OR VIA DESIGNER CONTACT INFO

To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafted/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, LOCAL CODE/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.

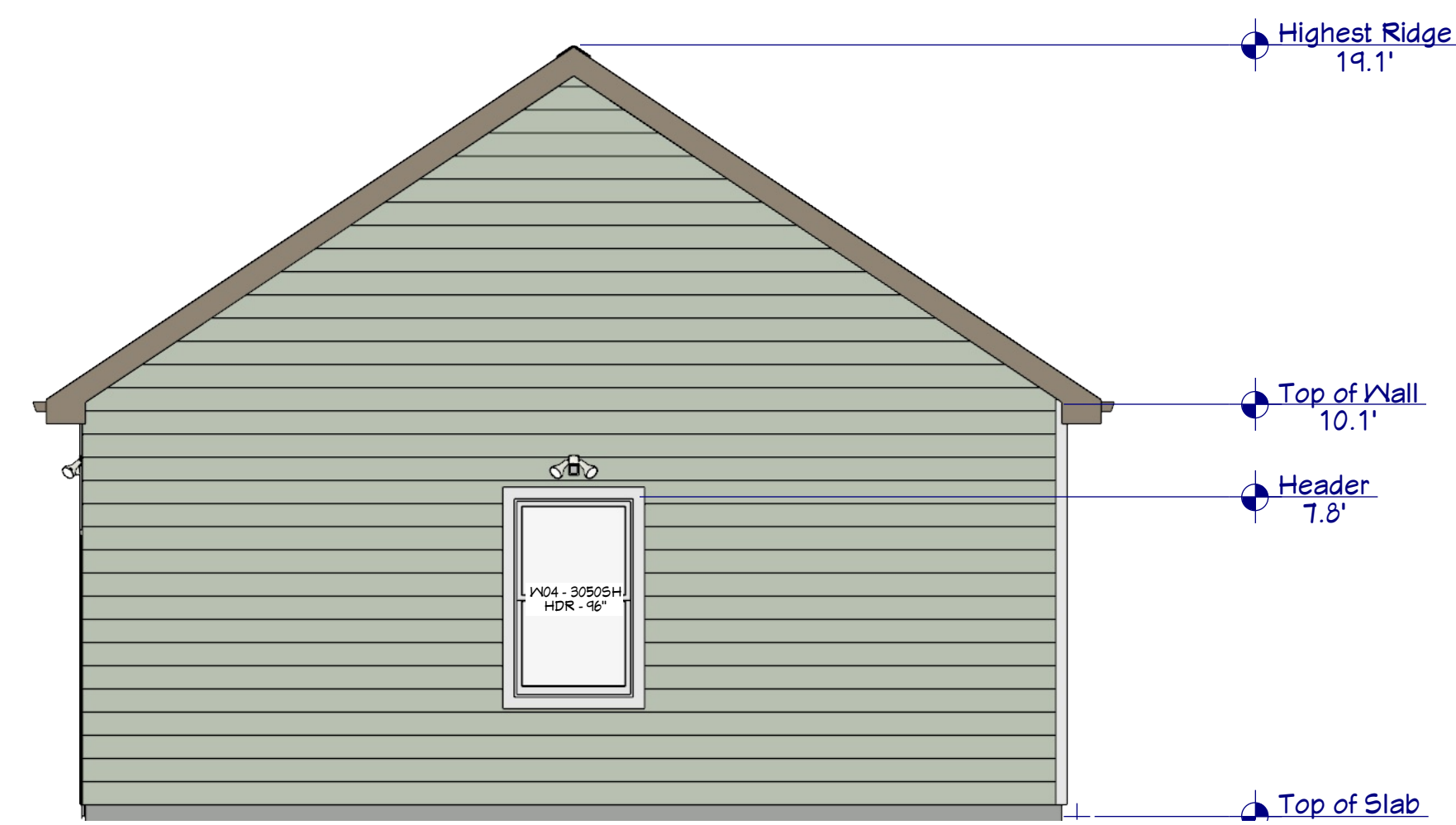
MIN. CODE RECOMMENDATIONS:
 ELECTRICAL SYSTEM CODE: SEC.2701
 MECHANICAL SYSTEM CODE: SEC.2801
 PLUMBING SYSTEM CODE: SEC.2901
 (CONSULT LOCAL/CITY BUILDING REQUIREMENTS)



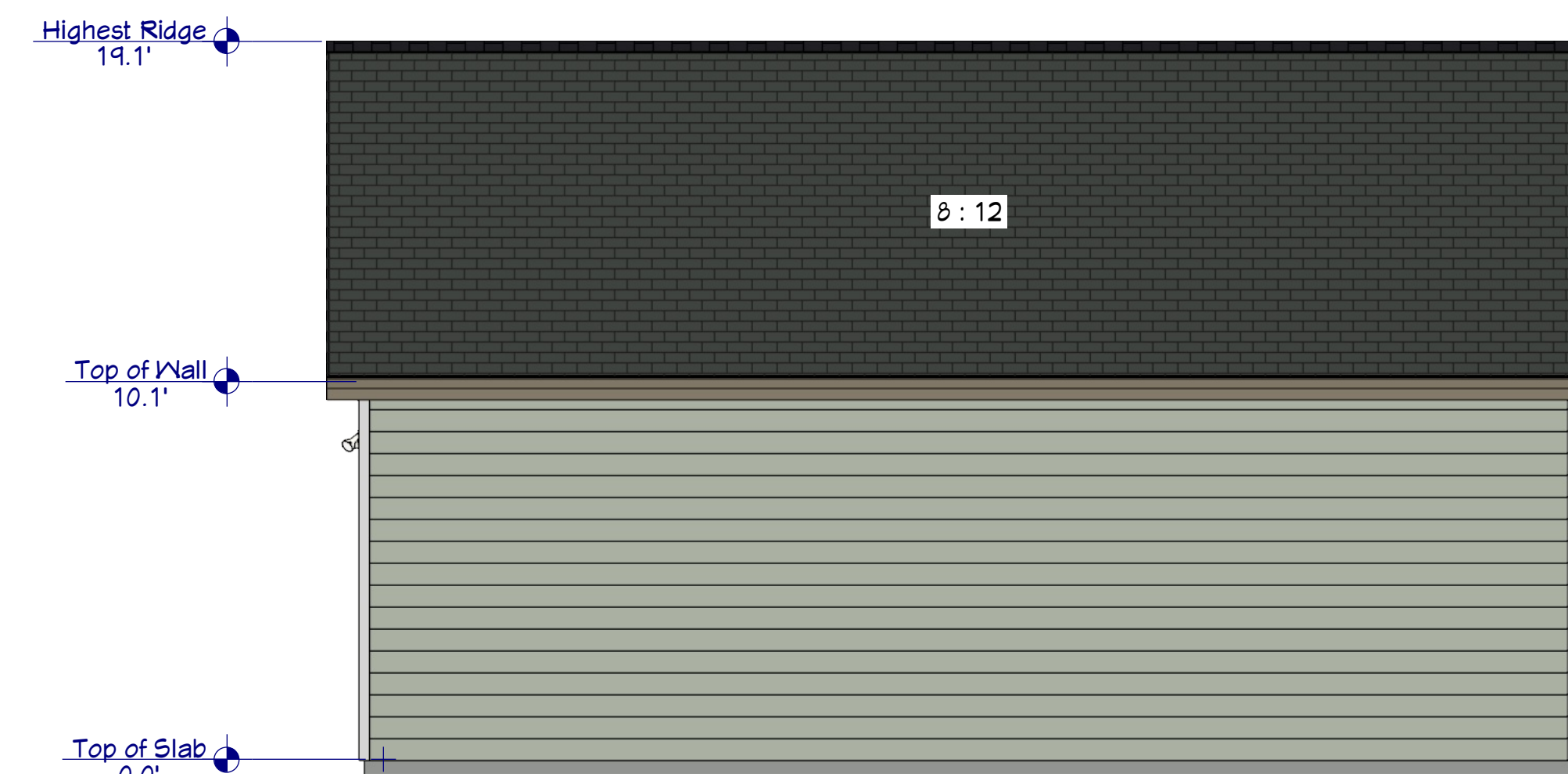
Exterior Elevation Front



Exterior Elevation Right



Exterior Elevation Back



Exterior Elevation Left

EXTERIOR MATERIALS:	
SOFFIT:	HARDI PLANK TRIM AND SOFFIT
SIDING:	HARDI 8.25" LAP SIDING
ACCENT SIDING:	HARDI BOARD AND BATTEN
ROOF:	COMPOSITE SHINGLES (GRAY)
PORCH POSTS:	6" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	
CORNER BOARD TRIM:	YES
	(SEE STYLE SHEET FOR ADDITIONAL INFO.)

FOUNDATION NOTES:

FOUNDATION TO BE ENGINEERED BY LICENSED STRUCTURAL ENGINEER TO DETERMINE BEAM/FOOTING SIZES, PIER LAYOUT, REINFORCEMENT AND POST TENSION REQUIREMENTS.

ALL WALK IN SHOWER PANS TO BE RECESSED 3.5" FROM MAIN SLAB HEIGHT.

BRICK LEDGE TO 5.5" IN WIDTH AND A MINIMUM OF 1.5" IN DEPTH WHERE SHOWN.

SLOPE ALL PORCHES AND GARAGES AWAY FROM HOUSE TO ENSURE PROPER WATER RUNOFF.

MINIMUM 1.5" STEP DOWN FROM MAIN SLAB TO GARAGE SLAB.

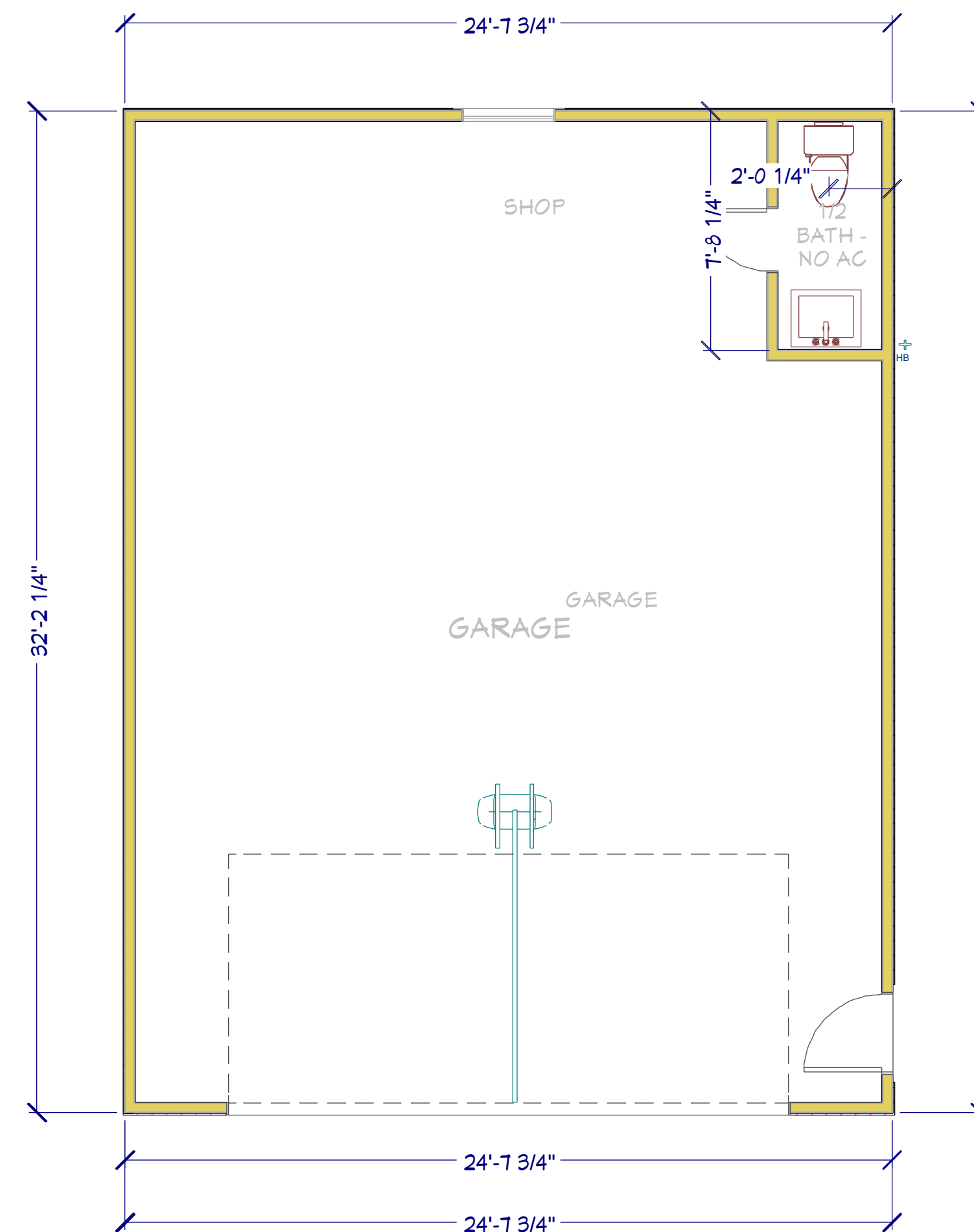
FOUNDATION PLAN DEFINES FOOTPRINT AND SLAB PENETRATION DEFINITION ONLY.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- * JOINTS AROUND WINDOW AND DOOR FRAMES
- * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- * JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * JOINTS BETWEEN WALL PANELS
- * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

GENERAL PLUMBING NOTES:

1. VERIFY FIXTURE SELECTIONS AND DRAIN LOCATIONS WITH HOMEOWNER PRIOR TO ROUGH-IN.
2. ALL SLAB WATER PENETRATIONS TO BE SLEEVED WITH PVC OR WRAPPED WITH FOAM INSULATION TO PROTECT WATER LINE FROM CHAFFING.
3. UTILIZE TUB BOXES FOR TUB AND SHOWER SLAB DRAIN PENETRATIONS.
4. ALL WATER LINES RUN UNDER SLAB TO BE INSULATED.
5. REFER TO SLAB ENGINEERING PLAN TO DETERMINE IDEAL EXTERIOR CLEANOUT AND SEWER DRAIN CONNECTION LOCATION.
6. ISLAND DRAIN, WATER AND/OR GAS TO BE LOCATED MINIMUM 2" INSIDE THE BACK OF CABINET WHERE APPLIANCE OR SINK IS LOCATED UNLESS OTHERWISE SPECIFIED.
7. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
8. PLUMBER TO ALLOCATE AN IN-HOME PRIMARY WATER SHUTOFF VALVE IN EASILY ACCESSIBLE WALL. VERIFY VALVE LOCATION WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
9. MINIMUM 3X, FREEZE PROOF HOSE BIBS IF NOT SPECIFIED ON DRAWING. VERIFY HOSE BIB LOCATIONS WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
10. PERMISSIBLE TO RUN IN-CEILING WATER DISTRIBUTION, PROVIDED LOCAL CODE REQUIREMENTS AND BUILDER PERMIT.



FOUNDATION ROUGH-IN

HOME DESIGNED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX | 972-533-0959
AARON@ABIDEHOMEDESIGNS.COM

FOUNDATION/
ROUGH-IN PLAN

BLOCK RESIDENCE
921 N. ALAMO RD
ROCKWALL, TX



DATE:

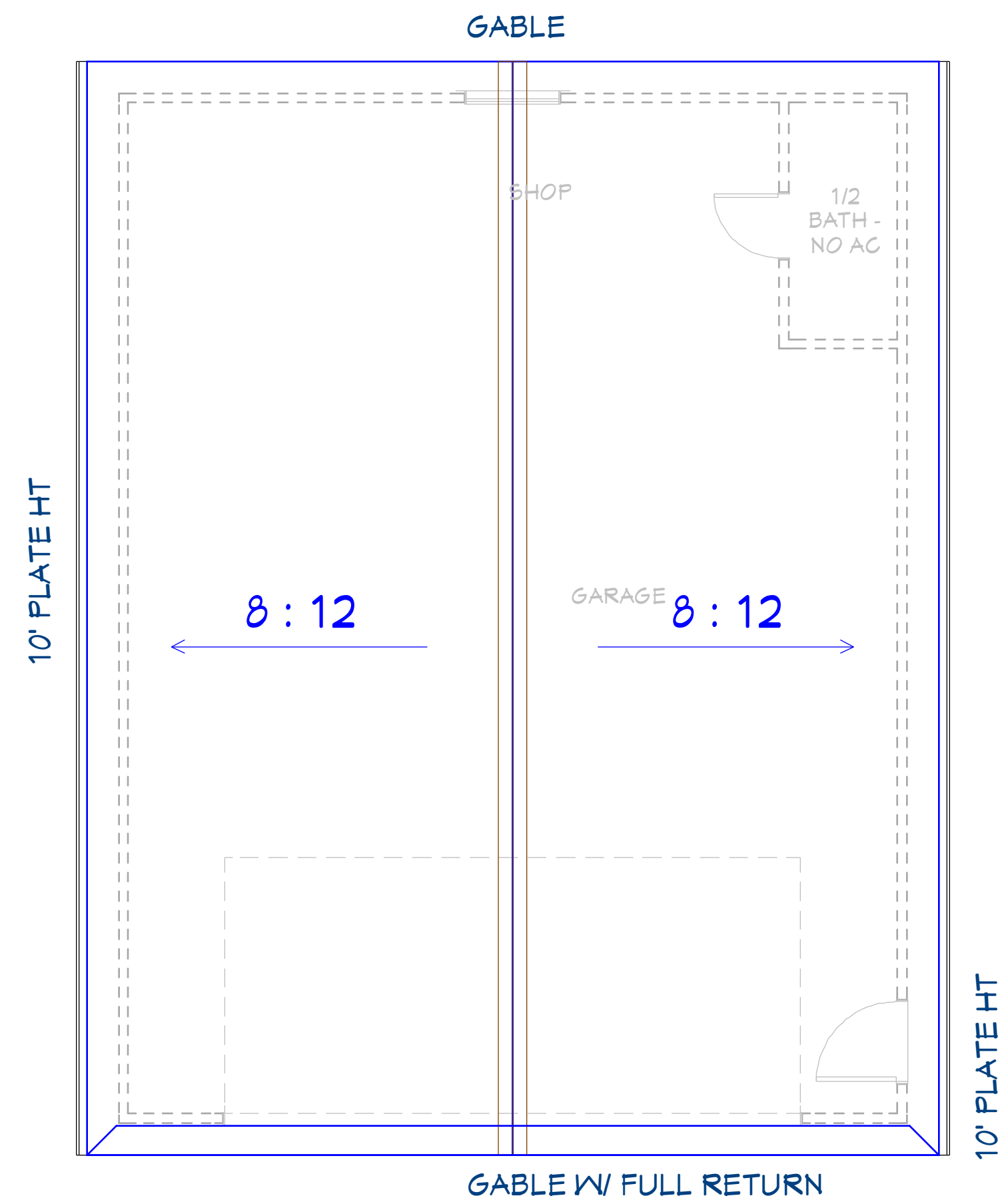
6/15/2024

SCALE:

1/4"=1'

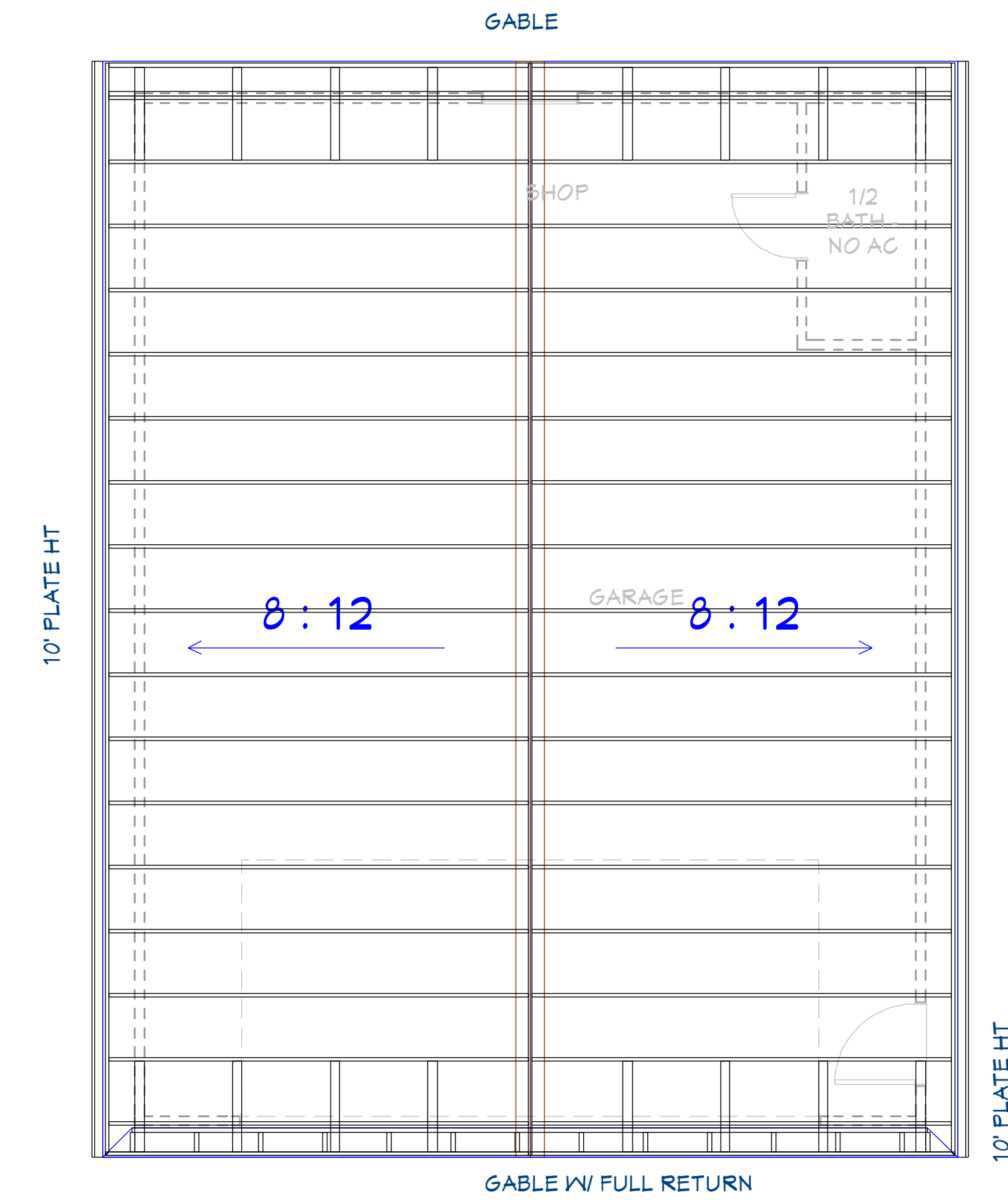
SHEET:

5



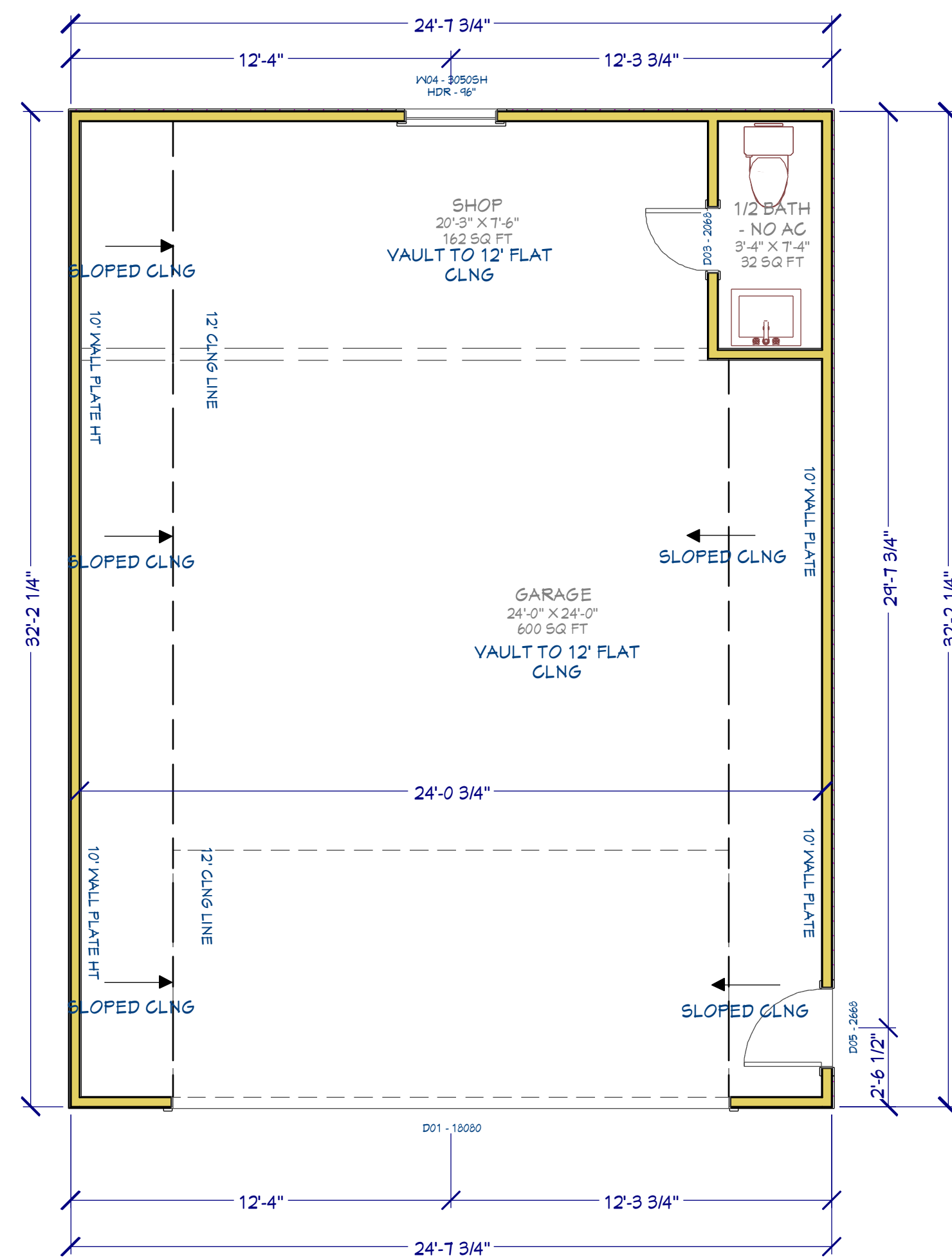
ROOF PLAN

TOTAL ROOF SF:	1095 SF
COMPOSITE SHINGLES, GRAY	
PRIMARY PITCH:	8:12
EAVE STYLE:	BOXED
GABLE OVERHANG:	12"
EAVE OVERHANG:	12"
EAVE RAFTER/FASCI/RAKE:	PLUMB CUT



ROOF PLAN W/ RAFTERS

TOTAL ROOF SF:	1095 SF
COMPOSITE SHINGLES, GRAY	
PRIMARY PITCH:	8:12
EAVE STYLE:	BOXED
GABLE OVERHANG:	12"
EAVE OVERHANG:	12"
EAVE RAFTER/FASCI/RAKE:	PLUMB CUT



ROOM AREA/CEILING SCHEDULE (UNLESS OTHERWISE SPECIFIED)			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	GARAGE	575	148 5/8"
1	SHOP	152	148 5/8"
1	1/2 BATH - NO AC	24	124 5/8"
TOTALS:		752	

FRAMING PLAN

- ADDITIONAL ELECTRICIAN ITEMS/NOTES:**
- SOFFIT PLUGS (FOR CHRISTMAS LIGHTS, ETC.) TO BE INSTALLED ON 4 CORNERS OF HOUSE & BETWEEN CORNERS IF SPACING EXCEEDS 50'.
 - UNDER CABINET AND UPPER GLASS BOX CABINET (IF APPLICABLE) TO BE INSTALLED ON ALL KITCHEN CABINETS.
 - MINIMUM 1X (UNLESS OTHERWISE SHOWN), WATERPROOF OUTLET ON ALL PORCHES, NEAR GARAGE DOOR.
 - IF POOL OR HOT TUB IS TO BE INSTALLED, ELECTRICIAN TO PROVISION THE FOLLOWING:
 - 30A 220V FOR POOL
 - 20A 110V FOR POOL ACCESSORIES
 - 50A 220V FOR ELECTRIC HOT TUB
 - ELECTRICIAN TO VERIFY WITH HOMEOWNER IF 50A/220V BACKUP GENERATOR PLUG IS REQUIRED.
 - ELECTRICIAN TO VERIFY HVAC POWER REQUIREMENTS WITH BUILDER PRIOR TO ELECTRICAL ROUGH-IN.
 - DATA/AUDIO/VIDEO/SECURITY WIRING INFO. MAY NOT BE SHOWN ON ELECTRICAL PLAN, BUILDER TO VERIFY REQUIREMENTS WITH HOMEOWNER.
 - SECURITY LIGHTS (MINIMUM 3X) TO BE INSTALLED AT LOCATIONS TO BE DEFINED BY HOMEOWNER.
 - FLOOR OUTLETS AND ISLAND WIRING CONDUIT (IF APPLICABLE) MUST BE PROVISIONED PRIOR TO SLAB CONSTRUCTION.

ELECTRICAL, DATA, & AUDIO NOTES:
 HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

- ELECTRICAL NOTES:**
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. ORG.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
 - PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
 - CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
 - FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
 - FIXTURES TO BE SELECTED BY HOME OWNER.

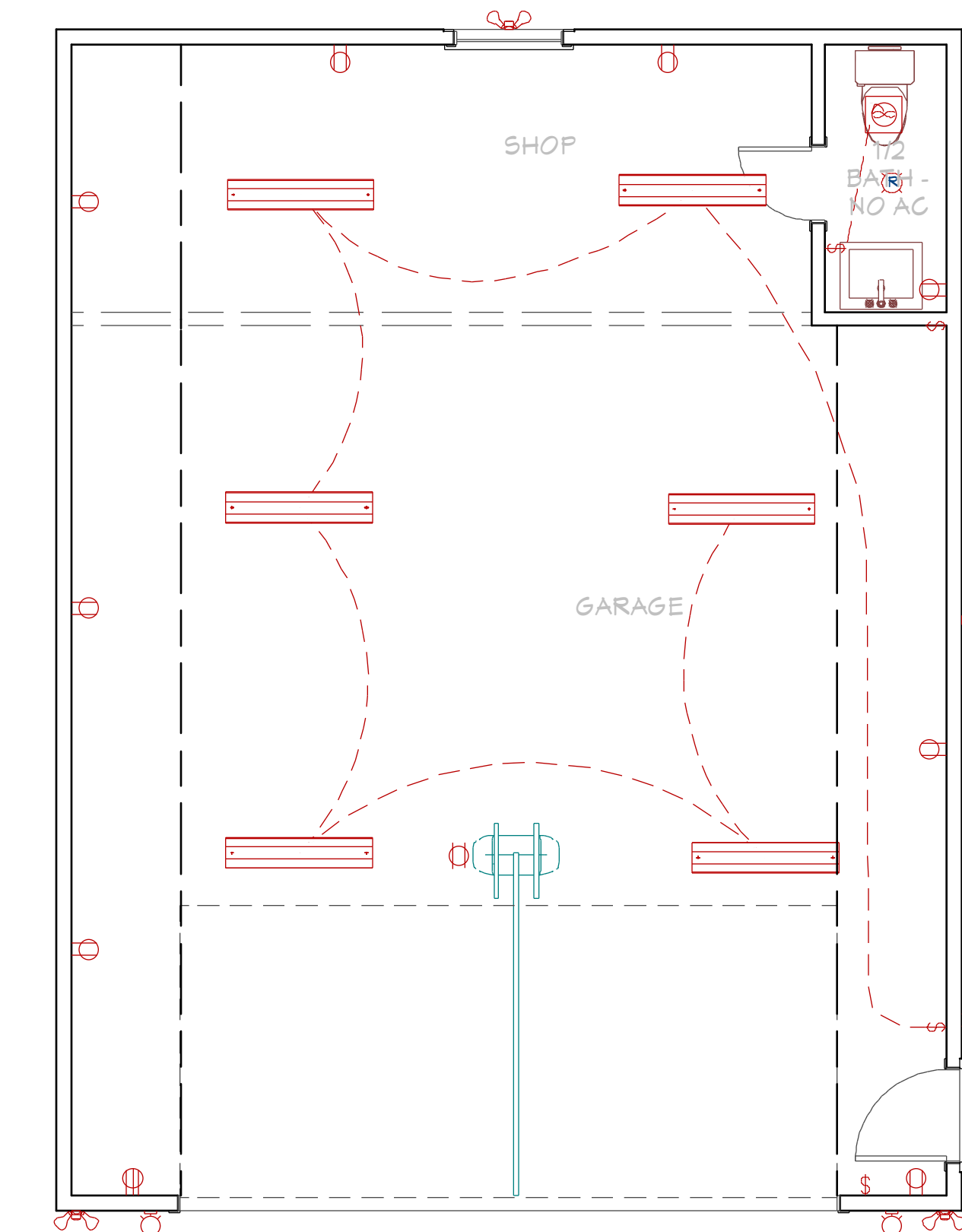
AUDIO:

- LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR.
- AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER.
- LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.

DATA / CABLE:
 LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

ELECTRICAL SCHEDULE				
NUMBER	FLOOR	QTY	DESCRIPTION	ATTACHED TO
E02	1	6	SHOP LIGHT (SHORT) (48 1/4")	CEILING
E03	1	1	RECESSED DOWN LIGHT 6	CEILING
E05	1	1	DUPLEX CEILING MOUNTED	CEILING
E06	1	8	DUPLEX	WALL
E07	1	1	220V	WALL
E08	1	1	DUPLEX (WEATHERPROOF)	WALL
E12	1	1	EXHAUST	CEILING
E13	1	4	SPOTLIGHT 2 MOTION SENSOR	WALL
E14	1	2	ALDRIDGE SCONCE	WALL
E15	1	4	SINGLE POLE	WALL

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



ELECTRICAL PLAN

CABINET SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	DESCRIPTION	ROOM NAME	WIDTH DEPTH HEIGHT

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2006 IBC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2006 IBC AND 2006 IAC SHALL BE USED.

THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

WIND/SNOW LOAD DESIGN CRITERIA: 2006 IRC AND IBC

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

DOOR SCHEDULE											
NUMBER	FLOOR	QTY	SIZE	EX/IN	SWING SIDE	DESCRIPTION	HEIGHT	WIDTH	DOOR PANELS	JAMB SIZE	3D PERSPECTIVE
D01	1	1	18080	EX	IN	GARAGE-GARAGE DOOR CHD05	96"	216"	1	3/4"x4 15/16"	
D03	1	1	2068 R IN	IN	OUT	HINGED- 84 INTERIOR	80"	24"	0+1	3/4"x4 1/2"	
D05	1	1	2668 L EX	EX	IN	EXT. HINGED- 82 TRADITIONAL PANEL	80"	30"	1+0	3/4"x4 7/16"	

WINDOW SCHEDULE										
NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	WIDTH	HEIGHT	TOP	DIVIDED LITES	3D PERSPECTIVE	
W01	1	2	2030FX	FIXED GLASS	24"	36"	55 11/16"	2X2		
W04	1	1	30505H	SINGLE HUNG	36"	60"	96"	1 / 1		

FLOOR FINISHES:	
1F BEDROOMS:	LVP/ENG. WOOD
1F BATHS:	TILE

ROOM AREA/CEILING SCHEDULE			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	GARAGE	575	148 5/8"
1	SHOP	152	148 5/8"
1	1/2 BATH - NO AC	24	124 5/8"
TOTALS:		752	

COMPONENT STYLE NOTES:	
FRONT DOOR STYLE	FIBERGLASS, 1/2 GLASS, STAINED
BACK DOOR STYLE	FIBERGLASS, 2/3 GLASS, PAINTED
INTERIOR DOOR STYLE	MDF OR SOLID CORE, 3 PANEL
WINDOW STYLE	VINYL, LO-E, FARMHOUSE, 2X2 LITES, WHITE EXT., WHITE INT.
COUNTERTOPS	QUARTZ, WHITE W/ GREY VEINING
EXT. DOOR HARDWARE (IF KNOWN)	BLACK HINGES, BLACK KNOBS
INT. DOOR HARDWARE (IF KNOWN)	BLACK HINGES, BLACK KNOBS

STYLE & SCHEDULES

REV 03

HOME DESIGNED BY:
 AARON HAMILTON
 ABIDE HOME DESIGNS
 ROYSE CITY, TX | 972-533-0959
 AARON@ABIDEHOMEDESIGNS.COM

SCHEDULES &
 STYLE

BLOCK RESIDENCE
 921 N. ALAMO RD
 ROCKWALL, TX



DATE:

6/15/2024

SCALE:

1/4"= 1'

SHEET:

3



CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *DETACHED GARAGE* ON A 0.530-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF BLOCK 4, GARNER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Travis Block for the approval of a Specific Use Permit (SUP) for a *Detached Garage* on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 921 N. Alamo Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of a *Detached Garage* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Detached Garage* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Site Plan and Survey* as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
- (2) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
- (3) The *Detached Garage* shall not exceed a maximum size of 752 SF.
- (4) The *Detached Garage* shall not be used as a *Guest Quarters* or *Secondary Living Quarters*.
- (5) The subject property shall be limited to a maximum of three (3) accessory structures.
- (6) The maximum height of the *Detached Garage* shall not exceed a total height of 19-feet as measured to highest point of the pitched roof.
- (7) The *Detached Garage/Accessory Structure* may not be sold or conveyed separately.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF OCTOBER, 2024.**

Trace Johannessen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: September 16, 2024

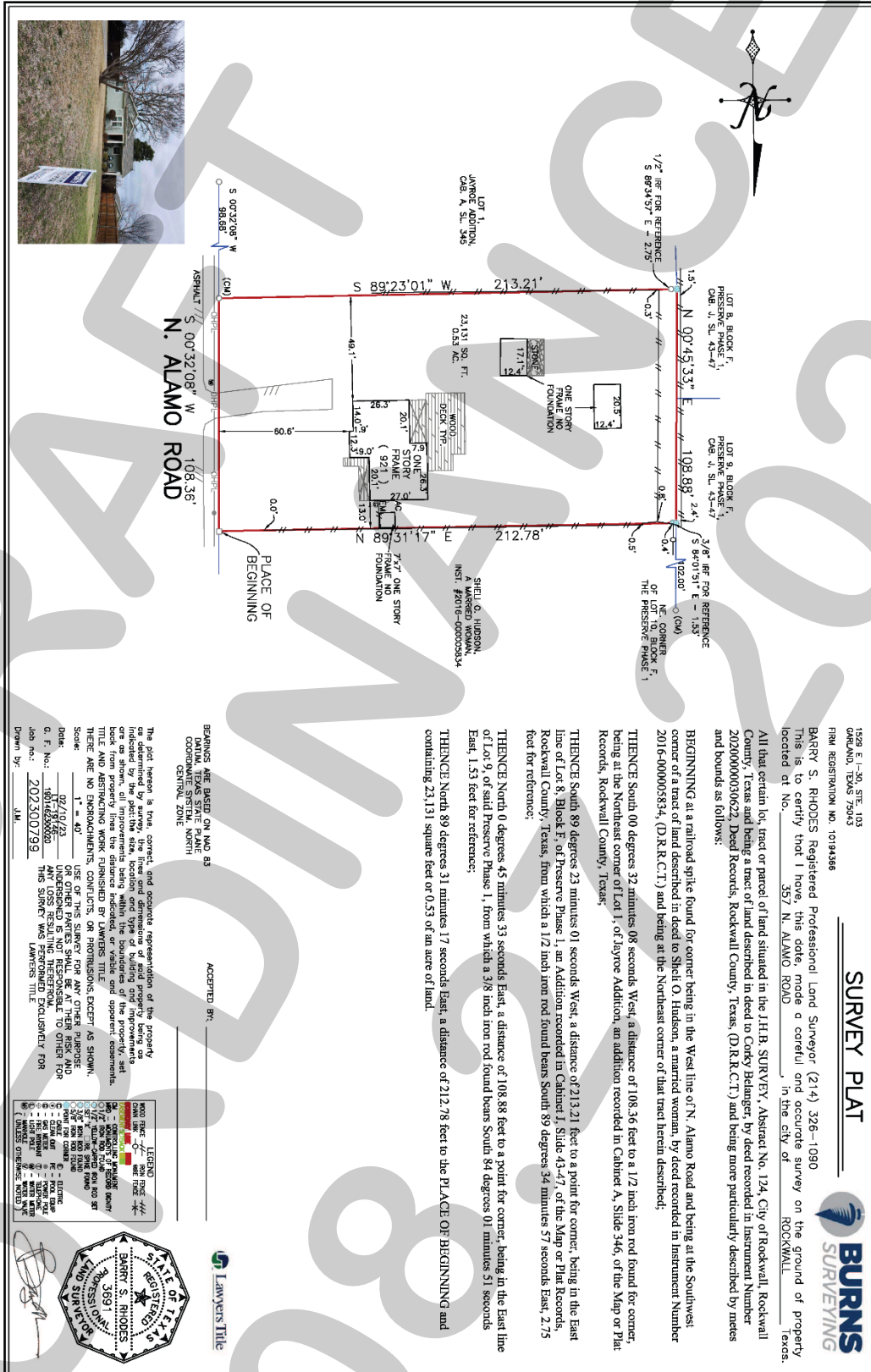
2nd Reading: October 7, 2024

Exhibit 'A'

Survey and Legal Description

Address: 921 N Alamo Road

Legal Description: A portion of Block 4 of the Gardener Addition



**Exhibit 'B':
Residential Plot Plan**

108.88'

N0° 45' 33"E

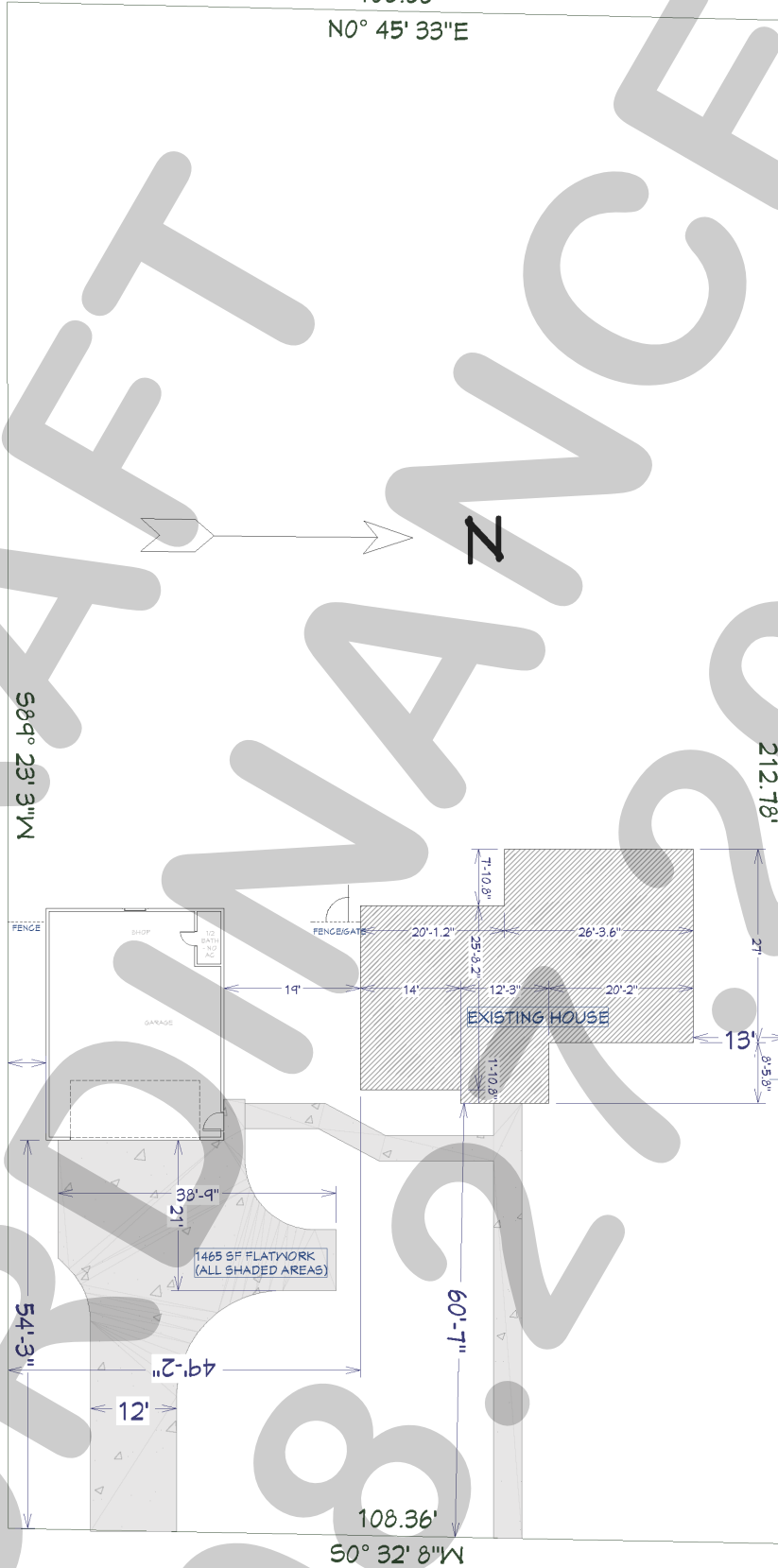


Exhibit 'C':
Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/23/2024

PROJECT NUMBER: Z2024-039
PROJECT NAME: SUP for a Short Term Rental at 610 Christan Court
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Scott Popescu of Brookhaven Media for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.25-acre parcel of land identified as Lot 2, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 4153 Panther Ridge Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	08/23/2024	Approved w/ Comments

08/23/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.25-acre parcel of land identified as Lot 2, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 4153 Panther Ridge Lane.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (Z2024-039) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Article 13, Definitions, of the Unified Development Code (UDC), Short Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) is defined as, "A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property."
- I.5 According to Article 04, Permissible Uses, of the Unified Development Code (UDC), the following conditional land use standards apply to the proposed use, [i.e. Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex)]:
 - (A) Short-Term Rentals that are Non-Owner-Occupied shall not be located within 1,000-feet of another Short-Term Rental that is Non-Owner Occupied; however, Short Term Rentals that were in existence prior to April 1, 2024 that [1] meet the criteria established in Subsection 06.05, Non-Conforming Short-Term Rentals, of Article 04, Permissible Uses, of the Unified Development Code (UDC), and [2] received a valid permit and registration -- in accordance with Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances -- prior to July 1, 2024 shall be exempted from the proximity requirements.
 - (B) Short-Term Rentals that are Non-Owner-Occupied that do not meet proximity requirements may be considered on a case-by-case basis by the Planning and Zoning Commission and City Council through a Specific Use Permit (SUP). In considering a Specific Use Permit (SUP) for a Short-Term Rental that is Non-Owner-Occupied the Planning and Zoning Commission and City Council shall consider the size, location, and impact of the proposed and existing Short-Term Rentals on the adjacent residential properties and their occupants.

(C) The Short-Term Rental shall not incorporate accessory land uses that are not permitted within the underlying zoning district (e.g. Banquet Facility/Event Hall which includes meeting halls and wedding venues) as stipulated by the Permissible Use Charts contained within Article 04, Permissible Uses, of the Unified Development Code (UDC).

(D) In order to establish and operate a Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) in the City of Rockwall, a permit and registration shall be required in accordance with the requirements of Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances.

I.6 In accordance with item I.5(B) above, the Specific Use Permit (SUP) is required due to the proposed Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) being unable to meet item I.5(A) above. In this case, the proposed Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) is 801.00-feet from an existing and permitted Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex).

M.7 The responsible party must live within Rockwall County. Please provide an updated application that provides a responsible party that lives within Rockwall County. [Section 13-22, Permit and Registration Requirement, of Article 2, Short-Term Rentals, of Chapter 13, Municipal Code of Ordinances].

M.8 Please provide an updated insurance policy that provides \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00. [Section 13-25, Permit and Registration Requirement, of Article 2, Short-Term Rentals, of Chapter 13, Municipal Code of Ordinances]

M.9 Please note that the current Short-Term Rental appears to be in operation and is actively being rented without the proper Short-Term Rental Permit and Registration. This will be conveyed to the Planning and Zoning Commission and City Council as part of this case.

M.10 Review the attached draft ordinance prior to the August 27, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by September 4, 2024.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 4, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 10, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on August 27, 2024.

I.12 The projected City Council meeting dates for this case will be September 16, 2024 (1st Reading) and October 7, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/22/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/19/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/20/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	08/23/2024	N/A
No Comments			

DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

PARKS

Travis Sales

08/19/2024

Approved

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 610 Christan Ct. Rockwall, TX 75087

SUBDIVISION North Shore PH 2B

LOT

2

BLOCK

1

GENERAL LOCATION Off Route 66

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SF-10

CURRENT USE A1 (Long term rental)

PROPOSED ZONING SF-10

PROPOSED USE Short term rental

ACREAGE .25

LOTS [CURRENT] 2

LOTS [PROPOSED] 2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Brookhaven Media

APPLICANT

CONTACT PERSON Scott Popescu

CONTACT PERSON

ADDRESS 4153 Panther Ridge Ln

ADDRESS

CITY, STATE & ZIP Plano, Texas 75074

CITY, STATE & ZIP

PHONE 469-993-8222

PHONE

E-MAIL scott@brookhavenmedia.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

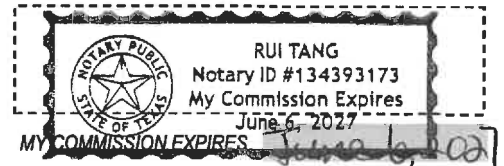
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Scott J. Popescu [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF August, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF August, 2024


OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2024-039: Specific Use Permit (SUP) for a Short Term Rental at 610 Christian Court

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

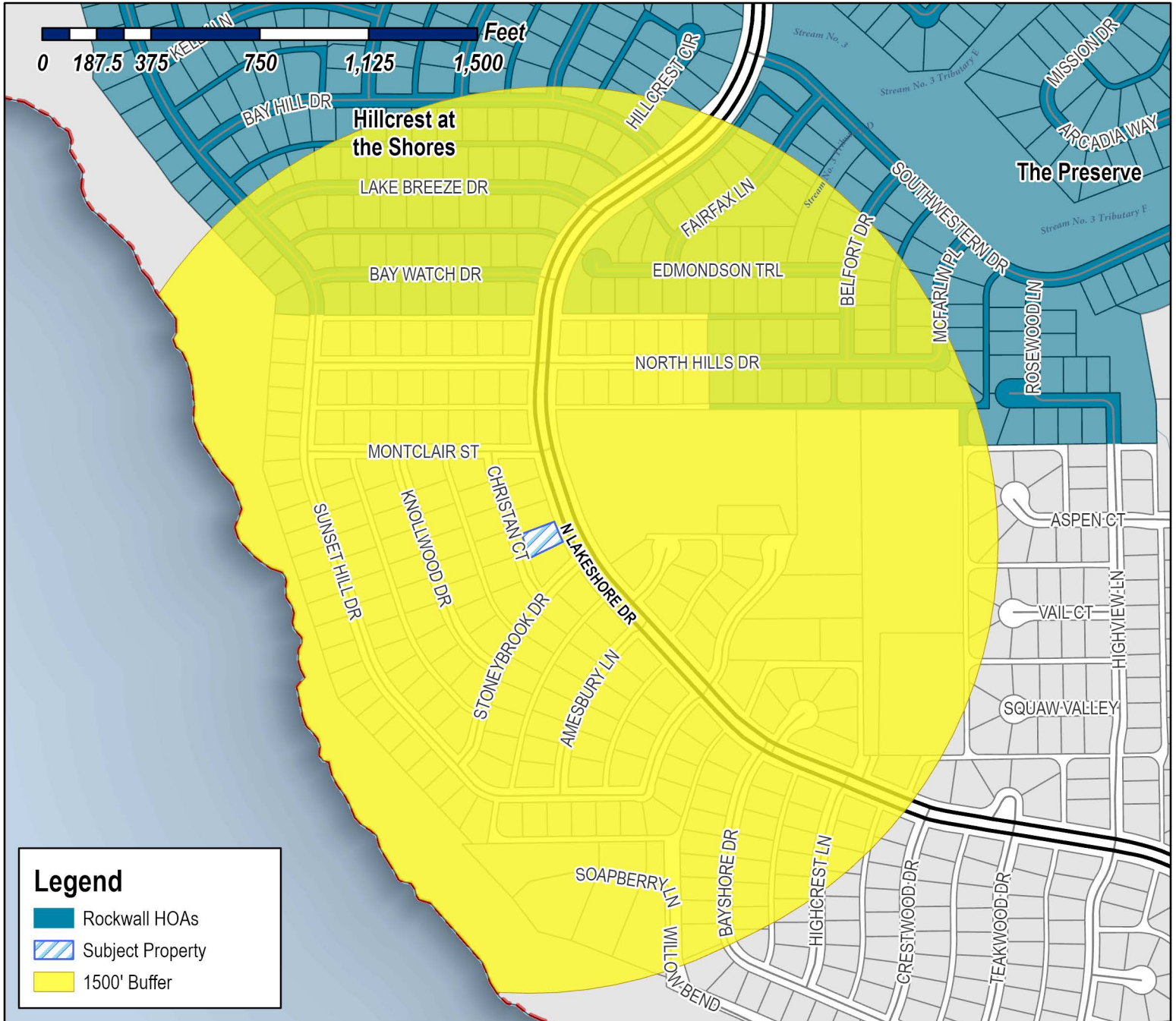
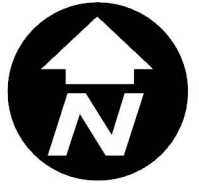




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Case Number: Z2024-024
Case Name: SUP for a Short Term Rental
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 610 Christian Court



Date Saved: 8/16/2024

For Questions on this Case Call (972) 771-7745

From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Email [Z2024-039]
Date: Wednesday, August 21, 2024 2:47:46 PM
Attachments: [Public Notice \(P&Z\) \(08.21.2024\).pdf](#)
[HOA Map.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, August 22, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 10, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 16, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-039: SUP for a Short Term Rental at 610 Christan Court
Hold a public hearing to discuss and consider a request by Scott Popescu of Brookhaven Media for the approval of a [Specific Use Permit \(SUP\)](#) for a Short-Term Rental on a 0.25-acre parcel of land identified as Lot 2, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 610 Christan Court, and take any action necessary.

Thank you,

Melanie Zavala

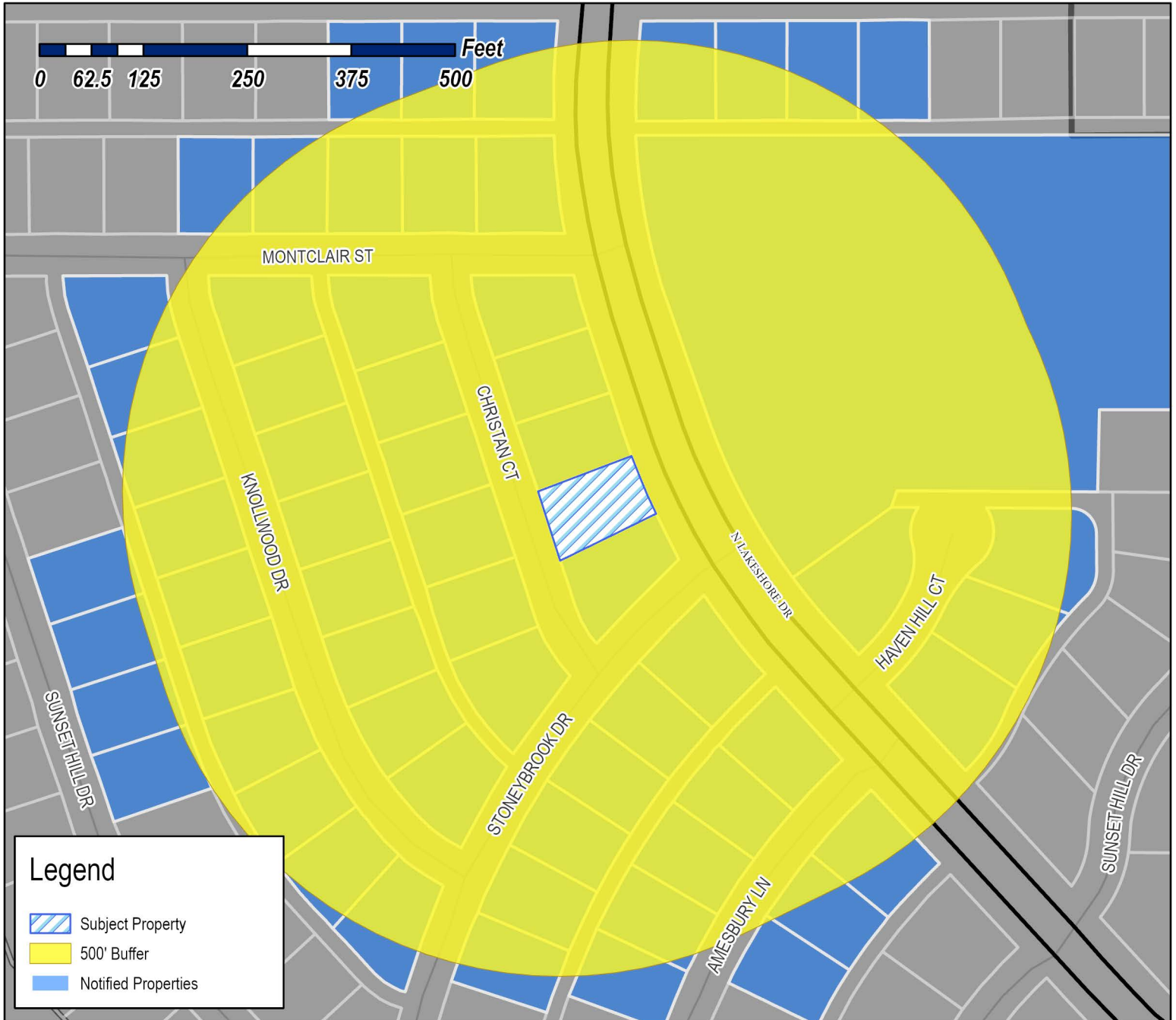
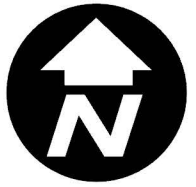
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

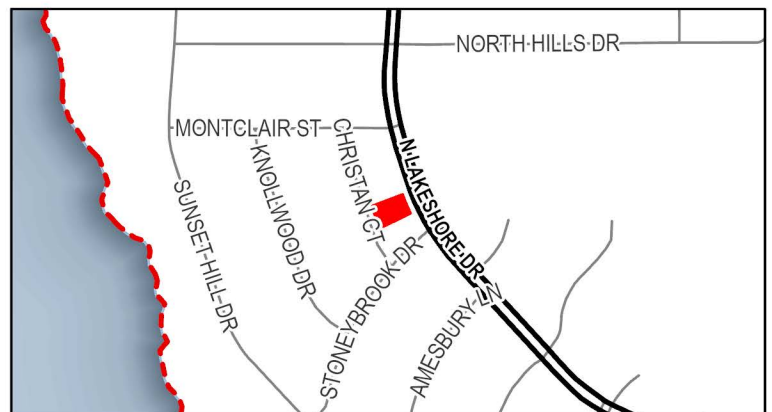
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Case Number: Z2024-039
Case Name: SUP for a Short Term Rental
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 610 Christan Court

Date Saved: 8/16/2024

For Questions on this Case Call: (972) 771-7745



SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

STILES LAURA S
15 BREEZY KNOLL LN
LAKE ST LOUIS, MO 63367

FRAGA JAVIER SANTOS
1593 NORTH HILLS DR
ROCKWALL, TX 75087

GONZALES JAMES E & DEENA L
1595 HAVEN HILL CT
ROCKWALL, TX 75087

MURAKHOVSKY VLADISLAV AND YANA
1595 N HILLS DRIVE
ROCKWALL, TX 75087

LANGFORD DAVID NEIL AND MELANIE HILBERT
1597 HAVEN HILL COURT
ROCKWALL, TX 75087

SHEEHAN JAMES C & JULIA
1597 N HILLS DR
ROCKWALL, TX 75087

VILLAPANDO ANTONIO & MARIA
1599 HAVEN HILL CT
ROCKWALL, TX 75087

WU MEIKI & KING CHUNG TSO
1599 N HILLS DR
ROCKWALL, TX 75087

JONES JOHNNY DEWAYNE & MARTHA A
1600 N LAKESHORE DRIVE
ROCKWALL, TX 75087

ONCEBAY EDSON DANIEL & JENNIFER B
BAZZETTI BARRIENTOS
1601 N HILLS DR
ROCKWALL, TX 75087

HERNANDEZ SAMUEL
1601 STONEYBROOK DRIVE
ROCKWALL, TX 75087

ORTIZ ADELLA J
1602 AMESBURY LN
ROCKWALL, TX 75087

SAMPSON DEAN & BARBARA KELLUM
1602 MONTCLAIR DR
ROCKWALL, TX 75087

CONFIDENTIAL
1603 NORTH HILLS DRIVE
ROCKWALL, TX 75087

SAENZ DIANA GONZALEZ
1603 STONEYBROOK DR
ROCKWALL, TX 75087

HAMMILL JOHN AND LISA
1604 AMESBURY LANE
ROCKWALL, TX 75087

PHILIPS PAUL AND PATRA M
1604 MONTCLAIR ST
ROCKWALL, TX 75087

SULLIVAN JESSICA AND KEVIN
1605 AMESBURY LN
ROCKWALL, TX 75087

CLARK LUTHER A ETUX
1605 N HILLS DR
ROCKWALL, TX 75087

FLORES AMIE ELAINE AND BALDEMAR SOSA
1605 STONEYBROOK DRIVE
ROCKWALL, TX 75087

POWERS LISA A AND ROBERT H
1606 AMESBURY LN
ROCKWALL, TX 75087

JISTEL MICHAEL & SABRA
1606 MONTCLAIR DR
ROCKWALL, TX 75087

BOUK JOSHUA
1607 AMESBURY LN
ROCKWALL, TX 75087

SHIELDS CHARLENE
1607 STONEYBROOK DRIVE
ROCKWALL, TX 75087

BURTON DAVID A & MARY KAY
1608 AMESBURY LN
ROCKWALL, TX 75087

BOULLION PAMELA S TOPPER
1608 MONTCLAIR DR
ROCKWALL, TX 75087

ADAMS BRAD AND KASHA
1609 AMESBURY
ROCKWALL, TX 75087

CASE DAVID L ETUX
1609 STONEYBROOK DR
ROCKWALL, TX 75087

TUCKER EARL W & MELINDA K
1610 AMESBURY LN
ROCKWALL, TX 75087

TOCHKOV KIRIL AND KARIN
1610 MONTCLAIR DR
ROCKWALL, TX 75087

SARVER WANDA & DONALD
1611 STONEYBROOK DR
ROCKWALL, TX 75087

RESIDENT
1616 NORTH LAKESHORE DR
ROCKWALL, TX 75087

ST BENEDICT ANGLICAN CHURCH-REFORMED
EPISCOPAL
304 GLENN AVENUE
ROCKWALL, TX 75087

BROOKHAVEN MEDIA, LLC
5909 HUDSON ST
DALLAS, TX 75206

PUSKARICH THOMAS & EMILY
607 CHRISTAN CT
ROCKWALL, TX 75087

GLADNEY CATHERINE DIANE SELBY
607 KNOLLWOOD DR
ROCKWALL, TX 75087

GLENN W GOODRICH JR & KELLYE JAYE
CRAWFORD REVOCABLE TRUST
GLENN W GOODRICH JR & KELLYE JAYE
CRAWFORD - TRUSTEES
608 CHRISTAN CT
ROCKWALL, TX 75087

GALLOWAY PRESTON AND BRITTANY
609 CHRISTAN COURT
ROCKWALL, TX 75087

MARY ANN OBRIEN REVOCABLE TRUST
DANIEL F OBRIEN- TRUSTEE
609 KNOLLWOOD DR
ROCKWALL, TX 75087

RESIDENT
610 CHRISTAN CT
ROCKWALL, TX 75087

TORKELSON KELLY L & STEVEN A
610 KNOLLWOOD DR
ROCKWALL, TX 75087

HAWKINS KRISTINA
611 CHRISTAN CT
ROCKWALL, TX 75087

GOLDIN MICHAEL & CAROL
611 KNOLLWOOD DR
ROCKWALL, TX 75087

STEWART-JOHNSON LOIS DIANNE
612 CHRISTAN CT
ROCKWALL, TX 75087

ELLIS TEX W & MONA E
612 KNOLLWOOD DRIVE
ROCKWALL, TX 75087

KIDDER CHRISTINA SHEA
613 CHRISTAN CT
ROCKWALL, TX 75087

SMITH BARRY & HEIDI
613 KNOLLWOOD DR
ROCKWALL, TX 75087

RESIDENT
614 KNOLLWOOD DR
ROCKWALL, TX 75087

CARTER KAREN
614 CHRISTAN COURT
ROCKWALL, TX 75087

WALKER DIANE C AND MICHAEL W
615 CHRISTAN CT
ROCKWALL, TX 75087

COX MATTHEW AND HAYLEY
615 KNOLLWOOD DRIVE
ROCKWALL, TX 75087

HARMON ROBERT R & KIMBERLY
616 CHRISTAN CT
ROCKWALL, TX 75087

ETTER CHARLES W & LINDA L
616 KNOLLWOOD DR
ROCKWALL, TX 75087

GRIFFIN BILLY G AND PATRICIA L
617 CHRISTAN CT
ROCKWALL, TX 75087

SAENZ ORLANDO
617 KNOLLWOOD DR
ROCKWALL, TX 75087

HAMMONDS MARK & STEPHANIE
618 KNOLLWOOD DR
ROCKWALL, TX 75087

DYLONG RONALD C & PAULA S
618 SUNSET HILL DR
ROCKWALL, TX 75087

WILLIAMS ELESTER & HATTIE
619 KNOLLWOOD DR
ROCKWALL, TX 75087

RESIDENT
620 SUNSET HILL DR
ROCKWALL, TX 75087

DEMEYER DANIEL T & ELAINE S
620 KNOLLWOOD DR
ROCKWALL, TX 75087

HOSACK ALLEN JAMES ETUX
621 KNOLLWOOD DR
ROCKWALL, TX 75087

UPTHEGROVE JOSHUA R
622 KNOLLWOOD DR
ROCKWALL, TX 75087

CARABALLO NATALIA TEMBONI
622 SUNSET HILL DRIVE
ROCKWALL, TX 75087

RESIDENT
623 KNOLLWOOD DR
ROCKWALL, TX 75087

EDWARDS BRYAN K & SUSAN L
624 KNOLLWOOD DR
ROCKWALL, TX 75087

CHANDLER WILLIAM E & LISA D
624 SUNSET HILL DR
ROCKWALL, TX 75087

AARON DONALD AND
LAURA SAXON
625 KNOLLWOOD DR
ROCKWALL, TX 75087

MITCHELL JAMES B & TEENA L
6309 GLENWOOD DR
AMARILLO, TX 79119

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-039: SUP for a Short-Term Rental

Hold a public hearing to discuss and consider a request by Scott Popescu of Brookhaven Media for the approval of a *Specific Use Permit (SUP)* for a Short-Term Rental on a 0.25-acre parcel of land identified as Lot 2, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 610 Christan Court, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 10, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-039: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

RECEIVED BY:

DATE RECEIVED:

STR PERMIT NO.

ACKNOWLEDGEMENTS BY PROPERTY OWNER [PLEASE INITIAL BY EACH STATEMENT]

SP

I acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.

SP

I acknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my *Short-Term Rental Permit* will be revoked and that I will not be eligible to apply for a new *Short-Term Rental Permit* for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.

SP

I acknowledge that a *Short-Term Rental Permit* and any non-conforming rights associated with a *Short-Term Rental Permit* are non-transferable to another property owner or operator, or address or location.

SP

I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my *Short-Term Rental Permit*.

SP

I acknowledge that a *Short-Term Rental Permit* is valid for a period of three (3) years, and -- as the owner of the subject property -- it is my responsibility to apply for a renewal 30-days prior to the expiration of my *Short-Term Rental Permit*. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new application that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances.

REGISTRATION TYPE

New Registration | Renewal of an Existing Registration

Was this property being used as a short-term rental prior to April 1, 2024? Yes | No

PROPERTY INFORMATION [PLEASE PRINT]

Address	610 Christan Ct. Rockwall, TX 75087	Zoning	SF-10		
Subdivision	North Shore PH 2B	Lot	2	Block	1
General Location	Off Route 66				

TYPE OF SHORT-TERM RENTAL

Please indicate the type of short-term rental being permitted and registered:

- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX).** A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
- SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX).** A single-family home, townhome, or duplex -- or a portion thereof -- in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit -- or portion thereof -- on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).
- SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM).** An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]) -- or a portion thereof -- in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

PROPERTY OWNER INFORMATION [PLEASE PRINT]

Name	Brookhaven Media	Phone	469-993-8222		
Mailing Address	4153 Panther Ridge Ln	City	Plano	State	TX
Email	Scott@brookhavenmedia.com	Zip Code	75074		

RESPONSIBLE PARTY [PLEASE PRINT]

Please note that a *Responsible Party* is required for all *Short-Term Rental Permit* applications. A *Responsible Party* is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The *Responsible Party* must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

Same as Property Owner

Name	Scott Popescu	Phone	469-993-8222		
Mailing Address	4153 Panther Ridge Ln	City	Plano	State	TX
Email	scott@brookhavenmedia.com	Zip Code	75074		



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE.** A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN.** A site plan showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
- PICTURES.** Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures -- *one (1) per each façade of a structure* -- and any on-site amenities.
- COMMERCIAL INSURANCE.** Each *Short-Term Rental* shall be required to have and provide proof of general commercial insurance (*or an equivalent*) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00.
- DRIVER LICENSE.** A copy of the driver license for the property owner and responsible party.

GENERAL STANDARDS CHECKLIST

Please indicate that subject property currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING.** All advertising for the *Short-Term Rental* -- including online or on a proprietary website, application, or other technology -- will include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- PARKING.** The parking on the subject property currently conforms to the requirements of *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (*i.e. gravel, pavers, asphalt, or concrete*) and no guest or occupant will park on an unimproved surface (*e.g. grass, vegetation, soil, etc.*).
- EVACUATION PLAN.** [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR] An evacuation plan showing how to exit the building has been posted on the front door.
- TEMPORARY STRUCTURES.** There are no temporary structures (*i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles*) being utilized as a *Short-Term Rental*.
- TRASH/RUBBISH/SOLID WASTE.** There are enough City approved containers (*i.e. a polycarts or approved garage cans*) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste -- *bagged or otherwise* -- placed on the ground.
- SIGNAGE.** No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*.
- FIRE EXTINGUISHER.** A standard five (5) pound fire extinguisher (*i.e. 2A:10B:C*) has been properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS.** Operable smoke and carbon monoxide detectors have been installed in the *Short-Term Rental* in accordance with all applicable City of Rockwall codes.
- INGRESS/EGRESS.** All bedrooms in the *Short-Term Rental* have at least one (1) operable emergency point of ingress/egress for rescue and escape (*i.e. windows and/or doors*).
- SLEEPING ACCOMMODATIONS.** There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the *Short-Term Rental*.
- TENANT NOTIFICATION.** The following information has been posted in a visible and obvious location inside the *Short-Term Rental*: [1] the property owner's and/or the *Responsible Party's* contact information and phone number; [2] pertinent information relating to the aforementioned standards (*i.e. the location of the required off-street parking; the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.*); [3] information to assist guests in the case of an emergency (*i.e. emergency and non-emergency telephone numbers for police, fire, and medical services*); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

RESPONSIBLE PARTY'S CERTIFICATION

I hereby certify that I am the *Responsible Party* of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the *Responsible Party* as stipulated by Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF August, 2024.

RESPONSIBLE PARTY'S SIGNATURE Scott Popescu

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

PROPERTY OWNER'S CERTIFICATION

I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the rules, requirements, and regulations of the City of Rockwall. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF August, 2024.

PROPERTY OWNER'S SIGNATURE Scott Popescu

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES















FARMERS
INSURANCE

A Policy From
FOREMOST LLOYDS OF TEXAS

N RB 721530
381-5012368551

TODD HENDERSON INSURANCE AGENCY INC
FARMERS INSURANCE GROUP
6400 CROSS TIMBERS RD
FLOWER MOUND TX 75022-6201

42

LLC. BROOKHAVEN MEDIA
2306 MIDWAY RD
ARLINGTON TX 76011-2624

THIS IS NOT A BILL

COPY

Dear LLC. BROOKHAVEN MEDIA:

Your policy packet is enclosed. Please take a few minutes to read through the enclosed documents. This contract is your assurance of protection in case of an insured loss. Copies of your current policy forms are available upon your request. If you have any questions, please contact us at the address shown above or call us at (817) 567-8025 .

Thank you for choosing us for your insurance. We appreciate the opportunity to provide you coverage.

Sincerely,

TODD HENDERSON INSURANCE AGENCY INC
FARMERS INSURANCE GROUP
89-0038-695

P.S. Did you know . . . Electronic payments are available!

To sign up for electronic payments, please go to **foremostpayonline.com**. You may choose to have us automatically withdraw your premium payments electronically from your designated account as they come due, or go to **foremostpayonline.com** to see your bill and make a payment. As always, simply call our billing service at 1-800-532-4221 with questions about your bill.

Need to report a claim? The Claims Contact Center is available to take your call 24 hours a day, seven days a week at 1-800-527-3907, or you may report a claim online at **Foremost.com**.

381 - 5012368551 - 02

Form 737818 07/13

COPY

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The following disclosure is required by regulation of the U.S. Treasury Department.

**POLICYHOLDER DISCLOSURE
NOTICE OF TERRORISM
INSURANCE COVERAGE**

Coverage for acts of terrorism is included in your policy. You are hereby notified that the Terrorism Risk Insurance Act, as amended in 2019, defines an act of terrorism in Section 102(1) of the Act: The term "act of terrorism" means any act or acts that are certified by the Secretary of the Treasury - in consultation with the Secretary of Homeland Security, and the Attorney General of the United States - to be an act of terrorism; to be a violent act or an act that is dangerous to human life, property, or infrastructure; to have resulted in damage within the United States, or outside the United States in the case of certain air carriers or vessels or the premises of a United States mission; and to have been committed by an individual or individuals as part of an effort to coerce the civilian population of the United States or to influence the policy or affect the conduct of the United States Government by coercion. Under your coverage, any losses resulting from certified acts of terrorism may be partially reimbursed by the United States Government under a formula established by the Terrorism Risk Insurance Act, as amended. However, your policy may contain other exclusions which might affect your coverage, such as an exclusion for nuclear events. Under the formula, the United States Government generally reimburses 80% beginning on January 1, 2020, of covered terrorism losses exceeding the statutorily established deductible paid by the insurance company providing the coverage. The Terrorism Risk Insurance Act, as amended, contains a \$100 billion cap that limits U.S. Government reimbursement as well as insurers' liability for losses resulting from certified acts of terrorism when the amount of such losses exceeds \$100 billion in any one calendar year. If the aggregate insured losses for all insurers exceed \$100 billion, your coverage may be reduced.

The portion of your annual premium that is attributable to coverage for acts of terrorism is \$0.00, and does not include any charges for the portion of losses covered by the United States government under the Act.

© 2020 National Association of Insurance Commissioners

COPY

COPY

Important Notice About Your Deductible(s)

We are required to provide you a notice when your policy contains a provision that may cause the exact dollar amount(s) of a deductible(s) to change.

Your policy does contain a provision which may indirectly cause the exact dollar amount(s) of your deductible(s) to change. The policy provision reads as follows:

Your Duties to Maintain Policy Amounts of Insurance. It is your responsibility to maintain adequate Amounts of Insurance for Coverage A - Dwelling, Coverage B - Other Structures, and Coverage C - Personal Property. To help you do that we may, but are not obligated to, adjust your policy Amounts of Insurance. If an adjustment is made, it will become effective on the renewal date of your policy and will be based upon data supplied to us by recognized agencies or organizations.

You will be notified in advance of the new Amounts of Insurance. Payment of your renewal premium is all that is necessary to indicate your acceptance of the new Amounts of Insurance.

If you want to change the new Amounts of Insurance you may do so by contacting your insurance representative.

Adjustments to your Dwelling Amount of Insurance may change the exact dollar amount of your deductible(s) as follows:

1. Your deductible is calculated by multiplying your Dwelling Amount of Insurance by the percentage deductible you selected, subject to a minimum deductible of \$1,000.
2. If your policy includes a separate Tropical Cyclone Deductible, this deductible will be 2% of the Dwelling Amount of Insurance shown on the Declarations Page, subject to a minimum of \$1,000.
3. If you purchase Earthquake coverage, the Earthquake Coverage endorsement specifies that each earthquake loss is subject to a deductible, which is the greater of 10% of the Amount of Insurance shown on the Declarations Page for the coverage or \$1,000. Earthquake deductibles are applied to the lesser of the loss for each coverage or the Amount of Insurance for each coverage.

An increase in your Dwelling Amount of Insurance may increase the exact amount of any of those deductibles because they could be assessed as a percentage of your Amount of Insurance. Your Deductibles can be found on your Declarations Page. An explanation of your deductible can be found on Page 20 of your policy. If included, your Tropical Cyclone Deductible is explained in Endorsement 10319. Your Earthquake Deductible is explained in either Endorsement 7311 or 7312 if you purchased Earthquake Coverage.

This summary is not a part of your policy, so please read your policy so you know what it says. Since the policy is our contract with you, if there's any difference between the policy and this summary, the policy language will take precedence. Our goal is to provide you with the coverage you want at a fair price. Thank you for your trust and confidence.

Important Notice Regarding Flood Coverage

We are required to provide the following notification to you since your insurance policy does not provide coverage against loss caused by flooding.

Flood Insurance: You may also need to consider the purchase of flood insurance. Your policy does not include coverage for damage resulting from a flood even if hurricane winds and rain caused the flood to occur. Without separate flood insurance coverage, you may have uncovered losses caused by a flood. Please discuss the need to purchase flood insurance coverage with your insurance agent or insurance company, or visit www.floodsmart.gov.

741865 07/19

COPY



FARMERS
INSURANCE

Underwritten by: **FOREMOST LLOYDS OF TEXAS**
Administrative Office: P.O. Box 2450
Grand Rapids, Michigan 49501

**RENEWAL
DECLARATIONS PAGE
FOREMOST LLOYDS OF TEXAS
TEXAS DWELLING POLICY - FORM 3**

POLICY NUMBER: 381-5012368551-02

RENEWAL OF: 381-5012368551-01

POLICY PERIOD EFFECTIVE DATE: 06/01/24 **EXPIRATION DATE:** 06/01/25 **AT** 12:01 A.M. STANDARD TIME
AT THE LOCATION OF DESCRIBED PROPERTY

YOU AS NAMED INSURED/MAILING ADDRESS

LLC. BROOKHAVEN MEDIA
2306 MIDWAY RD
ARLINGTON TX 76011-2624

AGENT'S NAME, ADDRESS, AND PHONE NUMBER

TODD HENDERSON INSURANCE AGENCY INC
FARMERS INSURANCE GROUP
6400 CROSS TIMBERS RD
FLOWER MOUND TX 75022-6201

AGENCY CODE:
890038695

TELEPHONE:
(817) 567-8025

LOCATION # 1

IMPORTANT RATING INFORMATION

LOCATION OF PROPERTY: 610 CHRISTAN CT
ROCKWALL TX 75087-3232

CONSTRUCTION: MASONRY VENEER	TERRITORY: N	YR. BUILT: 2008
FAMILIES: 1	PROT. CLASS: 2	FORM: TDP3
OCCUPANCY: VACATION & SHORT TER	RESP. FIRE DEPT.: ROCKWALL FS 1	KEY RATE:
HYDRANT: WITHIN 1,000 FEET	COUNTY: ROCKWALL	CITY LIMIT:
FIRE DEPT.: WITHIN 5 MILES		

MORTGAGEE #1

LOAN NO.: CC2023050233
PLANET HOME LENDING LLC
ISAOA / ATIMA
PO BOX 5023
TROY MI 48007-5023

COVERAGES

	LIMIT OF LIABILITY
COVERAGE A. DWELLING	\$ 506,224
OTHER STRUCTURES	\$ 50,622
COVERAGE B. PERSONAL PROPERTY	\$ 10,000
PERSONAL PROPERTY OFF PREMISES	\$ 1,000

PERILS INSURED AGAINST

	NORMAL	F.R.%	ACTUAL	ADD'L/RETURN PREMIUM	ANNUAL PREMIUM
DESCRIBED DWELLING - FIRE AND LIGHTNING	\$	\$			
			\$		2,011.00
SUDDEN AND ACCIDENTAL DAMAGE FROM SMOKE, WINDSTORM, HURRICANE, HAIL, EXPLOSION, AIRCRAFT AND VEHICLES, RIOT AND CIVIL COMMOTION			\$		4,032.00
ALL OTHER RISK OF PHYSICAL LOSS EXCEPT LOSSES EXCLUDED IN GENERAL EXCLUSIONS				\$	997.00
<hr/>					
PERSONAL PROPERTY - FIRE AND LIGHTNING	\$	\$			
			\$		30.00
SUDDEN AND ACCIDENTAL DAMAGE FROM SMOKE, WINDSTORM, HURRICANE, HAIL, EXPLOSION, AIRCRAFT AND VEHICLES, RIOT AND CIVIL COMMOTION			\$		23.00
COLLAPSE OF BUILDING, FALLING OBJECTS, FREEZING OF HOUSEHOLD APPLIANCES, VANDALISM AND MALICIOUS MISCHIEF.				\$	6.00

ENDORSEMENT NUMBER AND TITLE ATTACHED TO POLICY

	LIMIT OF LIABILITY	ADD'L/RETURN PREMIUM	ANNUAL PREMIUM
11309 08/23 AMEND END W/15YR REPL LIMIT ON ROOF			INCLUDED
11391 03/13 TEXAS DWELLING POLICY - FORM 3			INCLUDED
10325 03/21 WATER DAMAGE COVERAGE LIMIT	\$ 50,000		\$ 175.00
10116 09/00 TDP-009 RESIDENCE GLASS			\$ 15.00

DEDUCTIBLES (SECTION I ONLY)

	AMOUNT OF DEDUCTIBLE
DEDUCTIBLE - ALL OTHER	\$5,062

DISCOUNTS/SURCHARGES THAT APPLY TO LOCATION # 1

	ADD'L/RETURN PREMIUM	ANNUAL PREMIUM
CLAIMS FREE	\$	-86.00
MASONRY	\$	-428.00
MULTI-POLICY	\$	-428.00
MULTIPLE PROPERTIES	\$	-855.00
TENANT SCREENING	\$	-171.00

TOTAL ANNUAL POLICY PREMIUM	\$ 5,150.00
------------------------------------	--------------------

OTHER COVERAGES, LIMITS AND EXCLUSIONS APPLY - REFER TO YOUR POLICY

Processed: April 2, 2024

COPY

COPY

Important Notice About Your Deductible

We are required to provide you a notice when your policy contains a provision that may cause the exact dollar amount of a deductible to change.

Your policy does contain a provision which may cause the exact dollar amount of your deductible to change. The policy provision reads as follows:

Your Duties to Maintain Policy Limits of Liability. It is your responsibility to maintain adequate Limits of Liability on your Dwelling, Other Structures and Personal Property. To help you do that we may, but are not obligated to, adjust your policy Limits of Liability. If an adjustment is made, it will become effective on the renewal date of your policy and will be based upon data supplied to us by recognized agencies or organizations.

You will be notified in advance of the new Limits of Liability. Payment of your renewal premium is all that is necessary to indicate your acceptance of the new Limits of Liability.

If you want to change the new Limits of Liability, you may do so by contacting your insurance representative.

Changes to your Dwelling Limit of Liability may change the exact dollar amount of your deductible as follows:

1. Your deductible is calculated by multiplying your Dwelling Limit of Liability by the percentage deductible you selected, subject to a minimum deductible of \$1,000. When your Limit of Liability increases, the exact amount of your deductible will increase.
2. If your dwelling is located in one of the following counties, your policy may contain a Tropical Cyclone Deductible.

Bee	Goliad	Hidalgo	Liberty	Wharton
Brooks	Hardin	Jackson	Orange	
Fort Bend	Harris	Jim Wells	Victoria	

A change to your Dwelling Limit of Liability may affect the exact amount of your deductible because that deductible could be assessed as a percentage of your Limit of Liability. Your Deductible can be found on Page 2 of your Declarations Page. An explanation of your deductible can be found on Page 6 of your policy or in Endorsement 10318, if your home is located in one of the counties listed above.

3. If your Declarations Page indicates you purchased a TDP3 policy, then Endorsement 11309 includes a Vacancy Condition. During the policy term, if an insured dwelling is vacant or unoccupied for 30 consecutive days immediately before the loss, the Limit of Liability shown on the Declarations Page for Coverage A (Dwelling) and Coverage B (Personal Property) is reduced to 60% for loss caused by fire, lightning, vandalism or malicious mischief. Coverage may be provided by endorsement to this policy. When the terms of the Vacancy Condition are met, your deductible will also be reduced by 60%, subject to a minimum deductible of \$1,000.

This summary is not a part of your policy, so please read your policy so you know what it says. Since the policy is our contract with you, if there's any difference between the policy and this summary, the policy language will take precedence. Our goal is to provide you with the coverage you want at a fair price. Thank you for your business.

AMENDATORY ENDORSEMENT WITH FIFTEEN YEAR OLD OR OLDER ROOF COVERING LIMIT

(For use with Texas Dwelling Policy Form 3)

11309 08/23

This endorsement changes your policy. Please read this document carefully and keep it with your policy.

DEFINITIONS

The following definitions are added:

"Business" means any full or part-time trade, profession or occupation engaged in for economic gain.

But business does not mean the rental or holding for rental solely for residential purposes of any dwelling or other structure described on the Declarations Page.

"Remediation" means to treat, contain, remove, or dispose of mold, fungi or other microbes beyond that which is required to repair or replace the covered property physically damaged by water or steam.

"Remediation" includes any testing to detect, measure or evaluate mold, fungi, or other microbes and any decontamination of the dwelling on the described location or property.

"Roof covering" means the roofing material exposed to the weather and the underlayments applied for moisture protection. "Roof covering" includes but is not limited to vents, flashings, caps, turbines and piping.

"Vacant" means the absence of most of the furniture and other items needed for human occupancy as a dwelling.

"Unoccupied" means not being used as a dwelling. Any dwelling structure with no permanent resident is unoccupied even if it is fully furnished. While the permanent resident is temporarily absent from the dwelling, the dwelling will not be unoccupied.

GENERAL EXCLUSIONS

Exclusion m. is changed to read:

m. **Mold, Fungi, Bacteria or Other Microbes, or Wet or Dry Rot.**

- (1) We do not cover loss caused by or resulting from mold, fungi, bacteria or other microbes, or wet or dry rot, including:
 - (a) the cost for remediation for mold, fungi, bacteria or other microbes, or wet or dry rot; or
 - (b) any increase in expenses for Loss of Use and/or Debris Removal due to remediation for mold, fungi, bacteria or other microbes, or wet or dry rot.
- (2) The physical presence of mold, fungi, bacteria or other microbes, or wet or dry rot on that portion of covered property which must otherwise be repaired or replaced because of direct physical loss caused by any insured peril shall not result in the exclusion of such loss if it is otherwise covered under this policy.

The following exclusions are added:

- n. We do not cover loss caused by any business activity being conducted with or without your knowledge by any of you or any resident of the dwelling on the described location.
- o. We do not cover loss of or to any property otherwise insured by this policy if that loss is intentionally caused by any of you or performed at any of your direction.

DEDUCTIBLE is changed to read:

DEDUCTIBLE. No deductible will be applied to COVERAGE A (DWELLING) in the event of a total loss unless stated otherwise in this policy.

No deductible will be applied to fire or lightning Losses unless stated otherwise in this policy.

All other losses insured by Coverage A (DWELLING) or Coverage B (PERSONAL PROPERTY) will be subject to the greater of \$1,000 or the deductible shown on the DECLARATIONS PAGE, unless stated otherwise in your policy.

CONDITIONS

6. **Loss Settlement** is changed to read:

6. **Loss Settlement.** Property losses are settled:

Dwelling Total Loss Payment Method

A total loss occurs when your dwelling is damaged beyond reasonable repair.

When a total loss occurs, your loss will be equal to the limit of liability shown on the DECLARATIONS PAGE for COVERAGE A (DWELLING).

No deductible will be applied to a total loss to your dwelling unless stated otherwise in your policy.

All Other Loss Payment Method

- a. When an insured peril causes a loss, your loss to roof covering fifteen years old or older, personal property, wall to wall carpeting, cloth awnings and fences, will be equal to the lowest of the following:
 - (1) the actual cash value at the time of loss determined with proper deduction for depreciation;
 - (2) the cost to repair or replace the damaged property with material of like kind and quality less deduction for depreciation; or
 - (3) the limit of liability shown on the Declarations Page.

b. When an insured peril causes a loss, your loss to dwelling and other structure(s) under Coverage A (Dwelling), except roof covering fifteen years old or older, wall to wall carpeting, cloth awnings and fences, will be equal to the lowest of the following:

(1) If, at the time of loss, the Coverage A (DWELLING) limit of liability is 80% or more of the full replacement cost of the dwelling, we will pay the repair or replacement cost of the damaged building structure(s), without deduction for depreciation.

(2) If, at the time of loss, the Coverage A (DWELLING) limit of liability is less than 80% of the full replacement cost of the dwelling, we will pay only a proportionate share of the full replacement cost of the damaged building structure(s). Our share is equal to:

$$\text{Replacement Cost of the Loss} \times \frac{\text{Coverage A (DWELLING) limit of liability}}{80\% \text{ of Replacement Cost of the Dwelling}}$$

(3) If, at the time of loss, the actual cash value of the damaged building structure(s) is greater than the replacement cost determined under (1) or (2) above, we will pay the actual cash value up to the applicable limit of liability.

In determining the amount of insurance required to equal 80% of the full replacement cost of the dwelling, do not include the value of excavations, underground pipes, and wiring and foundations which are below the surface of the ground.

We will pay only the actual cash value of the damaged building structure(s) until repair or replacement is completed. Repair or replacement must be completed within 365 days after loss unless you request in writing that this time limit be extended for an additional 180 days. Upon completion of repairs or replacement, we will pay the additional amount claimed under replacement cost coverage, but our payment will not exceed the smallest of the following:

(1) the limit of liability under this policy applicable to the damaged or destroyed building structure(s);

(2) the cost to repair or replace that part of the building structure(s) damaged, with material of like kind and quality and for the same use and occupancy on the same premises; or

(3) the amount actually and necessarily spent to repair or replace the damaged building structure(s).

If you provide no verification that your roof covering is less than fifteen years old, your roof covering loss will be determined using 6. **Loss Settlement** a. above.

9. **Appraisal** is deleted and replaced with:

9. **Appraisal.**

a. The following definitions shall apply under this **Appraisal** clause:

(1) "**Claimed loss**" means your claim of direct physical loss or damage to property.

(2) "**Component parts**" of property means each of the constituent parts of the property. By way of example only, if the **claimed loss** is a roof, the component parts of property for a roof might include: the trusses, rafters, decking, underlayment, sheathing, drip edge, shingles, tiles or other outer covering, jack pipes, vents or skylights, and all other individual items or parts.

Each of these individual items or parts would also be "**component parts**" of your dwelling.

(3) "**Incurred property damage**" means the verifiable actual theft of or actual distinct and demonstrable physical injury to or destruction of property.

b. If you or we fail to agree on the actual cash value (including the replacement costs and depreciation/obsolescence) or the **incurred property damage** of your **claimed loss**, either you or we may make a written demand for appraisal. The appraisal shall be made strictly in accord with the terms of this appraisal clause. Neither you nor we may assign the right to demand appraisal, whether before or after loss or damage. Any assignment shall be void.

c. (1) Within 20 days of the receipt of a written demand for appraisal, you and we each shall:

- i. appoint a qualified individual person as an appraiser; and
- ii. notify the other in writing of the appraiser's name and contact information.

(2) In order for a person to be qualified to act as an appraiser, the person must be competent, independent, neutral and impartial. A person:

- i. who has performed, or who is employed by any entity which has performed any work, or a person who has provided any service for either you or us in relation to any **claimed loss** under this policy, whether or not such work or service has been or will be paid; or
- ii. who has performed or may perform, or who is employed by an entity which has performed or may perform repairs or replacement of your property;

shall not be qualified to serve as an appraiser.

(3) Upon acceptance of the appointment, each appraiser shall within 5 days disclose in writing to you and to us any known facts which a reasonable person may consider to affect independence, neutrality or impartiality of the appraiser, including without limitation:

- i. any financial or personal interest in the outcome of the appraisal; and
- ii. any current or previous relationship with you or us, or your or our counsel, other representative(s) or experts, or with the other appraiser.

d. You and we may provide the appraisers with estimates, expert opinions, appraisal forms or any information you or we believe to be relevant to the appraisal. Any such documents and information must also be provided to the other party. However, no civil discovery shall be conducted by either the appraisers, any umpire, or you or us during or for the preparation of the appraisal, and no court reporter shall be used. The rules of civil procedure and the rules of evidence shall not apply to the appraisal process, and no hearing shall be conducted by the appraisers at which either you or we provide any evidence pertaining to your **claimed loss**.

e. (1) The appraisers shall determine the **incurred property damage**, if any, to each of the **component parts** of that property for which you have **claimed loss**, and the actual cash value of the **incurred property damage**, as of date of the loss. In determining the actual cash value of the **incurred property damage**, the appraisers shall only use reasonable costs of materials of like kind and quality unless the policy expressly provides otherwise.

(2) The appraisal shall separately state and itemize the following for each individual **component part** of the **incurred property damage**:

- i. a description of each **component part** of the property;
- ii. a description of the distinct and demonstrable physical injury to or destruction of each **component part**, if any, without reference to what caused the damage;
- iii. a description of the reasonably necessary repairs or replacements for each **component part** of property;
- iv. the estimated costs of the reasonably necessary repairs or replacement(s) to each **component part** of property;

v. the estimated amount of proper depreciation and/or obsolescence to each **component part** of property; and

vi. the actual cash value of the **incurred property damage**.

Evidence of the reasonableness of the costs, and evidence that the materials are of like kind and quality, if the policy loss settlement requires like kind and quality settlement, shall also be included with the appraisal. As appropriate, the foregoing shall also apply to theft.

(3) The appraisers may consider and provide you and us with a separate statement of the estimated cost(s) for any repairs or replacements which may be required by building ordinances or laws, but the appraisers may not determine whether such amounts are covered under this insurance policy.

(4) The appraisers shall submit their written appraisal in accord with this part e., to both you and to us, and the amounts agreed upon by the appraisers will be the **incurred property damage** and the actual cash value (including the replacement costs and depreciation/obsolescence) of the **incurred property damage** to each **component part** of property for which you have **claimed loss**.

(5) The appraisers are not authorized to, and shall not decide the cause, or causes, of your **claimed loss** or any **incurred property damage**.

(6) The appraisers are not authorized to decide whether any **incurred property damage** is covered under this insurance policy.

f. (1) If the appraisers cannot agree on the **incurred property damage** or the actual cash value of the **incurred property damage**, you must notify us that you have selected an umpire within 10 days of receiving notice that an umpire is needed. Notice can be provided through your appraiser. If you do not select an umpire within the 10 day period, we will contact the firm below to select an umpire. Regardless of who makes the selection, we will then contact the firm below, pay any applicable administrative fee to engage the umpire, and provide the firm with contact information for both appraisers, the name of the insured, and the location of the property involved in the claim.

American Arbitration Association (AAA)
Case Filing Services
Attn: Foremost Texas Appraisal
1101 Laurel Oak Road Ste 100
Voorhees, New Jersey 08043
Email: casefiling@adr.org (with subject matter
as "Foremost Texas Appraisal")

- (2) Only if AAA advises you and us in writing that it cannot appoint an umpire may we then jointly request a judge of a district court in the judicial district where the **residence premises** is located to select an umpire. A judge of a district court does not include a commissioner or a judge of a county court at law, of a justice court, a municipal court, a probate court, or of a commissioner's court.
- (3) In order for a person to be qualified to act as an umpire under this appraisal clause, such person must be qualified and meet the conditions as required at part c.(2).
- (4) Upon the appointment of an umpire by AAA, or a district judge, the umpire shall within 5 days disclose in writing to you and to us the information required at part c.(3).
- (5) Within 20 days of a qualified umpire being appointed, each of the appraisers shall then submit to the umpire, and to both you and us, their appraisals. Their appraisals shall contain all of the information required in part e. above, and shall identify each specific matter upon which they disagree and explain in detail why they disagree. Both appraisers and the umpire shall then together meet and confer. The umpire shall then prepare an appraisal. A written appraisal in conformance with and setting forth all the information required in part e. above, agreed upon and signed by the umpire and either one of the two appraisers will determine the **incurred property damage** and the actual cash value of the **incurred property damage** of your **claimed loss**.
- (6) If a vacancy should occur regarding the umpire, the vacancy shall be filled in accord with the foregoing process by which the vacating umpire was appointed. Any appointed umpire is subject to (3) and (4) of this part f.
- g. Each party will pay the costs of the appraiser it chooses. The costs of the umpire and all other expenses of the appraisal will be shared and paid equally by you and us. If AAA appoints the umpire, we will pay AAA's costs.
- h. The appraisal shall not:
 - (1) determine whether your **claimed loss** or any **incurred property damage**, or any part thereof, is covered under this insurance policy;

- (2) determine the cause or causes of the **claimed loss** or any **incurred property damage**;
- (3) make any factual finding which directly or indirectly determines whether your **claimed loss** or **incurred property damage**, or any part thereof, is covered under this insurance policy.
- (4) interpret this insurance policy;
- (5) award or determine any interest or penalties;
- (6) award any amount for matching property which has not sustained **incurred property damage** with property that has sustained **incurred property damage**;
- (7) determine loss settlement under a loss settlement provision of this policy; or
- (8) be considered to be adjustment of your **claimed loss**.
- i. Any demand for appraisal must be made within the contractual suit limitations period stated in this policy. After that time neither you nor we may demand an appraisal.
- j. If you or we timely demand an appraisal, then upon request made by either you or us for abatement of any suit for or involving the **claimed loss**, the suit shall be abated until after an appraisal award is made in accord with this appraisal clause.
- k. Even after an appraisal award, we retain the right to deny any **claimed loss** or **incurred property damage**, or any part thereof.

17. Vacancy is changed to read:

Vacancy. During the policy term, if an insured dwelling is vacant or unoccupied for 30 consecutive days immediately before the loss, the limit of liability shown on the Declarations Page for Coverage A (DWELLING) and Coverage B (PERSONAL PROPERTY) is reduced to 60% for loss caused by fire, lightning, vandalism or malicious mischief. Coverage may be provided by endorsement to this policy.

22. Refusal to Renew. is changed to read:

22. Refusal to Renew.

- a. We may not refuse to renew this policy because of claims for losses resulting from natural causes.
- b. We may not refuse to renew this policy solely because you are an elected official.
- c. We may refuse to renew this policy if you have filed three or more claims under the policy in any three year period that do not result from natural causes.

If you have filed two claims in a period of less than three years, we may notify you in writing, that if you file a third claim during the three year period, we may refuse to renew this policy by providing you proper notice of our refusal to renew as provided in d. below. If we do not notify you after the second claim, we may not refuse to renew this policy because of losses. A claim does not include a claim that is filed but is not paid or payable under the policy.

- d. If we refuse to renew this policy, we must deliver to you, or mail to you at your mailing address shown on the declarations page and any mortgagee named in the declarations page, written notice of refusal to renew no later than the 60th day before the date in which this policy expires. Proof of mailing will be sufficient proof of notice. If we fail to give you proper notice of our decision to refuse renewal, you may require us to renew the policy.

The following condition is added:

Your Duties to Maintain Policy Limits of Liability. It is your responsibility to maintain adequate limits of liability on your dwelling, other structures and personal property. But to help you do that we may, but are not obligated to, adjust your policy limits of liability. If an adjustment is made, it will become effective on the renewal date of your policy and will be based upon data supplied to us by recognized agencies or organizations.

You will be notified in advance of the new limits of liability. Payment of your renewal is all that is necessary to indicate your acceptance of the new limits of liability.

If you want to change the new limits of liability you may do so by contacting your insurance representative.

Service of Process

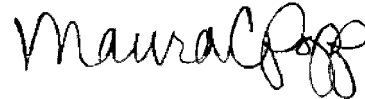
The address under Service of Process is changed to 15700 Long Vista Drive, Austin, Texas 78728.

The following provision is changed to read:

In witness whereof, the attorney-in-fact has executed this policy in Austin, Texas, binding the underwriters at Foremost Lloyds of Texas.



Michael J. Cok
President



Maura C. Popp
Secretary

COPY

Privacy Policy

This notice describes our privacy policies and procedures in safeguarding information about customers and former customers that obtain financial products or services for personal, family or household purposes. **Please note that if state law is more protective of an individual's privacy than federal privacy law, we will protect information in accordance with state law while also meeting federal requirements.**

Information We Collect

We may collect the following categories of personal information for the purposes identified below. Please note that the examples are not an exhaustive list and may fall into multiple categories. Categories and specific pieces of information collected may vary depending on the nature of your relationship with us.

Category	Examples
Personal Identifiers	Name, alias, address, social security number, date of birth, passport number, unique personal identifier, online identifier, IP address, e-mail address, account name, government issued identification number, phone number, signature
Personal Characteristics	Gender, demographic, medical and health, convictions, marital status, offspring, driving record, family member/other status, and other descriptions of your physical characteristics.
Commercial Information	Personal property, insurance policy number, medical information, or health insurance information, purchased products or services, considered products or services, purchasing or consuming histories or tendencies.
Biometric Information	Voice print, photo.
Internet or Network activity	Information regarding your interactions with websites, applications, and advertisements, browser type, electronic communications, IP address, cookies.
Geolocation	IP address, physical address, telephone number, state, municipality, location, devices, applications on mobile and computer devices.
Audio, electronic, visual, olfactory	Audio, electronic, photo, visual information, such as a call or video recording, voicemail messages.
Professional information and Employment information/Education Information	Job titles, work history, school attended, employment status, veteran, or military status.
Education Information	Job titles, work history, school attended, marital and family status, e-mail, telephone recordings.
Inferences	Preferences, behaviors, characteristics, trends, predispositions, attitudes, abilities, and aptitudes.
Sensitive Personal Information	Social security number, driver's license number, state ID card, account login, precise geo-location, bank account number, credit or debit card number, or any other financial information, trade union membership, your communications with us.

Purposes for Collection of Personal Information

We collect and use your personal information to offer, provide and maintain insurance products and related services to you. We may use your personal information for one or more of the following purposes:

- To offer, provide, and maintain insurance products and related services to you;
- To authenticate and verify your identity; to maintain your preferences and to contact you;
- Security: authentication and verification of your identity, fraud identification and protection;
- Conduct analytics, research and development, improvement of our products and services;
- To provide a location-based product or service requested by you;
- To apply relevant discounts;

- To create profiles based on personal information collected and reflecting individual preferences to provide appropriate or relevant products and services and improve and analyze our products and services and provide relevant marketing;

We collect certain information ("nonpublic personal information") about you and the members of your household ("you") from the following sources:

- Information you provide on applications or other forms, such as your social security number, assets, income, and property information;
- Information about your transactions with us, our affiliates or others, such as your policy coverage, premiums, and payment history;
- Information from your visits to the websites we operate, use of our mobile sites, applications, use of our social media sites, and interaction with our online advertisements; and
- Information we receive from consumer reporting agencies or insurance support organizations, such as motor vehicle records, credit report information and insurance claims history; and
- If you obtain a life, long-term or disability product, information we receive from you, medical professionals who have provided care to you and insurance support organizations, regarding your health.

How Long Do You Retain My Information

We retain your personal data for as long as reasonably necessary to fulfill the purpose for which it was collected or to comply with legal, regulatory, or internal procedures or obligations.

How We Protect Your Information

Our customers are our most valued assets. Protecting your privacy is important to us. We restrict access to personal information to those individuals, such as our employees and agents, who provide you with our products and services. We require individuals with access to your information to protect it and keep it confidential. We maintain physical, electronic, and procedural safeguards that comply with applicable regulatory standards to guard your nonpublic personal information. We do not disclose any nonpublic personal information about you except as described in this notice or as otherwise required or permitted by applicable law.

Information We Disclose

We do not disclose any nonpublic personal information about you as our customer or former customer, except as described in this notice. We may disclose the nonpublic personal information we collect about you, as described above to our affiliates, to companies that perform marketing services on our behalf or to other financial institutions with which we have joint marketing agreements, and to other third parties, all as permitted by law and for our everyday business purposes, such as to process your transactions and maintain your accounts and insurance policies.

Many employers, benefit plans or plan sponsors restrict the information that can be shared about their employees or members by companies that provide them with products or services. If you have a relationship with Foremost or one of its affiliates as a result of products or services provided through an employer, benefit plan or plan sponsor, we will follow the privacy restrictions of that organization.

We are permitted to disclose personal health information: (1) to process your transaction with us, for instance, to determine eligibility for coverage, to process claims or to prevent fraud; (2) with your written authorization; and (3) otherwise as permitted by law.

When you are no longer our customer, we continue to share your information as described in this notice.

Sharing Information with Affiliates

We will not disclose nonpublic personal information, as described above in **Information We Collect**, except with affiliates of Foremost as permitted by law including:

- Financial service providers, such as insurance companies and reciprocals, investment companies, underwriters, brokers/dealers; and

- Non-financial service providers, such as data processors, billing companies, and vendors that provide marketing services for us.

We are permitted by law to share with our affiliates information about our transaction and experience information with you. We will not share with our affiliates information we receive from a credit reporting agency or insurance support organization, such as motor vehicle records, credit report information and claims history.

Under the California Consumer Privacy Act ("CCPA"), California residents have the right to opt out of the sale of personal information to certain third parties. Although we do not currently share personal information in a manner that would be considered a sale under CCPA, you may still submit a request to opt out by calling us at 1-855-327-6548 or submitting a request through our CCPA Web Form.

Modifications to our Privacy Policy

We reserve the right to change our privacy practices in the future, which may include sharing nonpublic personal information about you with nonaffiliated third parties as permitted by law. Before we make any changes, we will provide you with a revised privacy notice and give you the opportunity to opt-out or, if applicable, to opt-in.

Website and Mobile Privacy Policy

Our Enterprise Privacy Statement includes our website and mobile privacy policies which provides additional information about website and mobile application use. Please review those notices if you transmit personal information to us over the Internet through our websites and/or mobile applications.

Recipients of this Notice

While any policyholder may request a copy of this notice, we are providing this notice to the named policyholder residing at the mailing address to which we send your policy information. If there is more than one policyholder on a policy, only the named policyholder will receive this notice. You may receive more than one copy of this notice if you have more than one policy with us. You also may receive notices from affiliates, other than those listed below.

Affiliates

The following is a list of some but not all of our affiliates: Farmers Insurance Group of Companies including Farmers Insurance Exchange, Fire Insurance Exchange, Truck Insurance Exchange, and Mid-Century Insurance Company, Bristol West Insurance Group including Bristol West Casualty Insurance Company, Bristol West Insurance Company, Bristol West Preferred Insurance Company, Coast National Insurance Company, and Security National Insurance Company (Bristol West Specialty Insurance Company in TX), and 21st Century Insurance & Financial Services including 21st Century Indemnity Insurance Company, 21st Century Insurance & Financial Services, Inc., 21st Century Insurance Company, 21st Century National Insurance Company, 21st Century Premier Insurance Company, and 21st Century Security Insurance Company, Farmers Property and Casualty Insurance Company, Farmers Casualty Insurance Company, Farmers Group Property and Casualty Insurance Company, Economy Fire & Casualty Company, Economy Preferred Insurance Company, Farmers Lloyds Insurance Company of Texas, Economy Premier Assurance Company, Farmers Direct Property & Casualty Insurance Company, Toggle Insurance Company.

The above is a list of the affiliates on whose behalf this privacy notice is being provided. It is not a comprehensive list of all affiliates of the companies comprising the Farmers Insurance Group of Companies.

More Information about the Federal Laws?

This notice is required by federal law. For more information, please contact us.

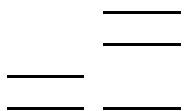
Any Questions?

Please visit our website at www.foremost.com.

Signed: Foremost Insurance Company Grand Rapids, Michigan
 Foremost Signature Insurance Company
 Foremost Property and Casualty Insurance Company
 Foremost County Mutual Insurance Company
 Foremost Lloyds of Texas

The above is a list of the Foremost companies on whose behalf this notice is being sent.

COPY



A - 2 Car Garage

B - 5 car driveway

C - 2 car paver parking

610

A

B

C

N Lakeshore Dr

Christman Ct

Christman Ct

608

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *NON-OWNER-OCCUPIED SHORT-TERM RENTAL* ON A 0.25-ACRE PARCEL OF LAND IDENTIFIED AS LOT 2, BLOCK I, NORTHSHORE, PHASE 2B ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Scott Popescu of Brookhaven Media for the approval of a *Specific Use Permit (SUP)* for a *Non-Owner-Occupied Short-Term Rental* on a 0.25-acre parcel of land identified as Lot 2, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 610 Christan Court, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Non-Owner-Occupied Short-Term Rental* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 03.01, *General Residential Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02]; and, Article 02, *Short-Term Rentals*, of Chapter 13, *Rental Housing*, of the *Municipal Code of Ordinances* -- as heretofore amended and as may be amended in the Z2024-039: SUP for a STR

future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Non-Owner-Occupied Short-Term Rental* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Subject Property* shall conform to the information provided within the *Short-Term Rental Permit Application* depicted in *Exhibits 'B'* of this ordinance; and,
- (2) All unpermitted improvements on the *Subject Property* must be permitted or removed before the issuance of a *Short-Term Rental Permit*; and,
- (3) After the issuance of a *Short-Term Rental Permit and Registration* by the City of Rockwall, should the applicant allow this permit/registration to expire, lapse or be revoked by the City of Rockwall, this Specific Use Permit (SUP) shall automatically expire and be considered abandoned in accordance with Subsection 02.02, *Specific Use Permit (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Short-Term Rental Permit and Registration*, should the property owner/responsible party operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this

Z2024-039: SUP for a STR

at 610 Christan Court

Ordinance No. 24-XX; SUP # S-3XX

ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF OCTOBER, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 16, 2024

2nd Reading: October 7, 2024

Exhibit 'A'
Zoning Exhibit

Address: 610 Christan Court

Legal Description: Lot 2, Block I, Northshore Phase 2B Addition



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Exhibit 'B':
Short-Term Rental Permit Application



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY	
RECEIVED BY:	
DATE RECEIVED:	
STR PERMIT NO.	

ACKNOWLEDGEMENTS BY PROPERTY OWNER [PLEASE INITIAL BY EACH STATEMENT]

- SP** I acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.
- SP** I acknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my *Short-Term Rental Permit* will be revoked and that I will not be eligible to apply for a new *Short-Term Rental Permit* for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.
- SP** I acknowledge that a *Short-Term Rental Permit* and any non-conforming rights associated with a *Short-Term Rental Permit* are non-transferable to another property owner or operator, or address or location.
- SP** I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my *Short-Term Rental Permit*.
- SP** I acknowledge that a *Short-Term Rental Permit* is valid for a period of three (3) years, and -- as the owner of the subject property -- it is my responsibility to apply for a renewal 30-days prior to the expiration of my *Short-Term Rental Permit*. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new application that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances.

REGISTRATION TYPE

New Registration | Renewal of an Existing Registration

Was this property being used as a short-term rental prior to April 1, 2024? Yes | No

PROPERTY INFORMATION [PLEASE PRINT]

Address	610 Christan Ct. Rockwall, TX 75087	Zoning	SF-10		
Subdivision	North Shore PH 2B	Lot	2	Block	1
General Location	Off Route 66				

TYPE OF SHORT-TERM RENTAL

Please indicate the type of short-term rental being permitted and registered:

- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)** A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
- SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)** A single-family home, townhome, or duplex -- or a portion thereof -- in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit -- or portion thereof -- on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).
- SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM)** An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]) -- or a portion thereof -- in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

PROPERTY OWNER INFORMATION [PLEASE PRINT]

Name	Brookhaven Media	Phone	469-993-8222				
Mailing Address	4153 Panther Ridge Ln	City	Plano	State	TX	Zip Code	75074
Email	Scott@brookhavenmedia.com						

RESPONSIBLE PARTY [PLEASE PRINT]

Please note that a *Responsible Party* is required for all *Short-Term Rental Permit* applications. A *Responsible Party* is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The *Responsible Party* must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

Same as Property Owner

Name	Scott Popescu	Phone	469-993-8222				
Mailing Address	4153 Panther Ridge Ln	City	Plano	State	TX	Zip Code	75074
Email	scott@brookhavenmedia.com						

SHORT-TERM RENTAL APPLICATION AND REGISTRATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7709

Exhibit 'B'
Short-Term Rental Permit Application



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE** A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN** A site plan showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
- PICTURES** Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures -- one (1) per each façade of a structure -- and any on-site amenities.
- COMMERCIAL INSURANCE** Each *Short-Term Rental* shall be required to have and provide proof of general commercial insurance (or an equivalent) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00.
- DRIVER LICENSE** A copy of the driver license for the property owner and responsible party.

GENERAL STANDARDS CHECKLIST

Please indicate that subject property currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING** All advertising for the *Short-Term Rental* -- including online or on a proprietary website, application, or other technology -- will include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- PARKING** The parking on the subject property currently conforms to the requirements of Table 5: *Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (i.e. gravel, pavers, asphalt, or concrete) and no guest or occupant will park on an unimproved surface (e.g. grass, vegetation, soil, etc.).
- EVACUATION PLAN** [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR] An evacuation plan showing how to exit the building has been posted on the front door.
- TEMPORARY STRUCTURES** There are no temporary structures (i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles) being utilized as a *Short-Term Rental*.
- TRASH/RUBBISH/SOLID WASTE** There are enough City approved containers (i.e. a polycarts or approved garage cans) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste -- bagged or otherwise -- placed on the ground.
- SIGNAGE** No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*.
- FIRE EXTINGUISHER** A standard five (5) pound fire extinguisher (i.e. 2A:10B:C) has been properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS** Operable smoke and carbon monoxide detectors have been installed in the *Short-Term Rental* in accordance with all applicable City of Rockwall codes.
- INGRESS/EGRESS** All bedrooms in the *Short-Term Rental* have at least one (1) operable emergency point of ingress/egress for rescue and escape (i.e. windows and/or doors).
- SLEEPING ACCOMMODATIONS** There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the *Short-Term Rental*.
- TENANT NOTIFICATION** The following information has been posted in a visible and obvious location inside the *Short-Term Rental*: [1] the property owner's and/or the Responsible Party's contact information and phone number; [2] pertinent information relating to the aforementioned standards (i.e. the location of the required off-street parking, the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.); [3] information to assist guests in the case of an emergency (i.e. emergency and non-emergency telephone numbers for police, fire, and medical services); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

RESPONSIBLE PARTY'S CERTIFICATION

I hereby certify that I am the *Responsible Party* of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the *Responsible Party* as stipulated by Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF August, 2024

RESPONSIBLE PARTY'S SIGNATURE *Scott Popescu*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

PROPERTY OWNER'S CERTIFICATION

I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the rules, requirements, and regulations of the City of Rockwall. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF August, 2024

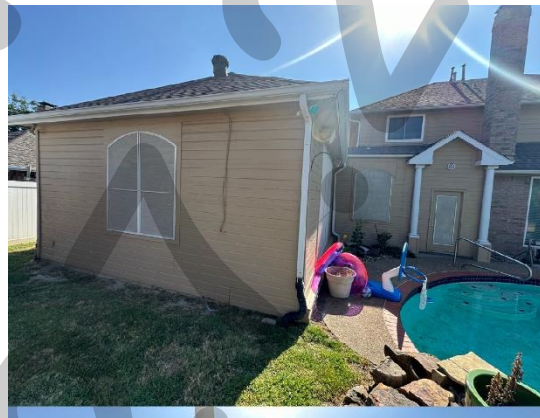
PROPERTY OWNER'S SIGNATURE *Scott Popescu*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

SHORT-TERM RENTAL APPLICATION AND REGISTRATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7709

Exhibit 'C':
Short-Term Rental Photographs



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/23/2024

PROJECT NUMBER: Z2024-040
PROJECT NAME: SUP for Residential Infill for 403 E. Kaufman Street
SITE ADDRESS/LOCATIONS: 403 E KAUFMAN ST

CASE CAPTION: Hold a public hearing to discuss and consider a request by Carol A. Byrd for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.2850-acre parcel of land identified as Lot 5B, Block 5, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 403 E. Kaufman Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	08/23/2024	Approved w/ Comments

08/23/2024: Z2024-040; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 403 E. Kaufman Street
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.2850-acre parcel of land identified as Lot 5B, Block 5, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 403 E. Kaufman Street.

I.2 For questions or comments concerning this case, please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2024-040) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Griffith Subdivision, which is more than 90% developed, consists of 39 residential lots, and has been in existence more than ten (10) years.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... {and} all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.6 Please review the attached Draft Ordinance prior to the August 27, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than September 4, 2024.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 4, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give

staff ample time to review the case prior to the September 10, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.8 The projected City Council meeting dates for this case will be September 16, 2024 (1st Reading) and October 7, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/22/2024	Approved w/ Comments

- 08/22/2024: 1. Please show and label the 10' utility easement required along all public street frontages.
2. A minimum 18" RCP storm drainage culvert will be required underneath of the driveway. Must be engineered if replacing.
3. Additional comments may be provided at time of building permit including a grading plan.
4. Storage shed will require a separate permit with the building department.
5. Gravel drives are not allowed. All driveways shall be concrete.
6. Gate entrance must be at least 20' from the roadway to allow for a parked car to not encroach into the public street.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2024	Needs Review

- 08/23/2024: * NEW STORAGE BUILDING ON PLANS IS OVERSIZED AND WILL REQUIRE AN SUP AS WELL
* GRAVEL DRIVEWAY WILL BE REQUIRED TO BE BROUGHT UP TO CONCRETE WITH NEW CONSTRUCTION OF A HOUSE
* BUILDING PERMIT WILL BE REQUIRED FOR THE NEW CONSTRUCTION OF THE HOME

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/19/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Angelica Guevara	08/23/2024	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/19/2024	Approved

No Comments

GENERAL NOTES AND SPECIFICATIONS:

1. Comply with applicable building codes and related amendments.
2. Bring errors, omissions and inconsistencies in drawings or ambiguities between drawings and site construction conditions to attention of the Architect.
3. Notify Architect in event of discrepancies in contract documents.
4. Mechanical and landscape drawings by others.
5. Verify location of utilities serving site.

7. Location of HVAC units and water heaters, determined by others.
8. Vent clothes dryers to outside.
9. Run all roof vents behind front ridge.
10. Contractor to locate and coordinate placement of electrical fixtures and plumbing penetrations prior to placing ceiling joists.

FOR DIMENSIONING PURPOSES:

1. Do not scale drawings.
2. Verify dimensions, notify Architect of discrepancies.
3. All dimensions to face of stud or outside face of foundation unless otherwise indicated.

SQUARE FOOTAGES

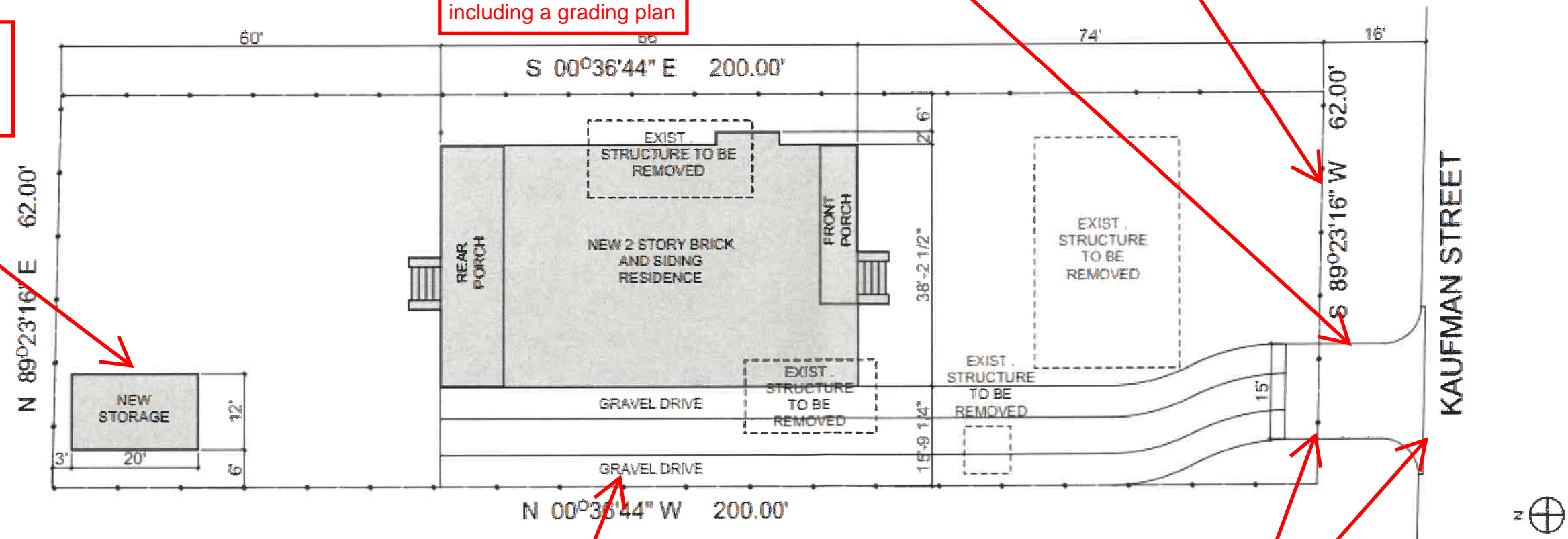
A/C		NON A/C	
FIRST FLOOR	1,920 s.f.	FRONT PORCH	148 s.f.
SECOND FLOOR	353 s.f.	REAR PORCH	380 s.f.
TOTAL	2,273 s.f.		
		TOTAL NON A/C	528 s.f.

Storage shed will require a separate permit with the building department.

Additional comments may be provided at time of building permit including a grading plan

A minimum 18" RCP storm drainage culvert will be required underneath of the driveway. Must be engineered if replacing

Please show and label the 10' utility easement required along all public street frontages.



Gravel drives are not allowed. All driveways shall be concrete.

Gate entrance must be at least 20' from the roadway to allow for a parked car to not encroach into the public street.

01 SITE PLAN
SCALE: 1/8" = 1'-0"

Approved For
New Construction For
403 E. KAUFMAN STREET
403 E. KAUFMAN STREET, ROCKWALL, TEXAS 75082

REVISIONED: 2/18/2014
REVISED: 2/18/2014

ASSOCIATE ARCHITECT
R. E. KINDRED
ARCHITECT

PREPARED: 08/26/2013
NOT FOR CONSTRUCTION
ON BEHALF OF: APPROVAL

Scale: 1/8" = 1'-0"

Job Address:
403 E. Kaufman Street
Rockwall, Texas 75082

Drawn by: R.E.K.
Checked by: R.E.K.
Scale: 1/8" = 1'-0"

Sheet Number:
A 1.00

Plotter On: 7/23/2014



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLANELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 403 E. Kautman Rockwall, Tx 75087

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Carol A. Byrd</u>	<input checked="" type="checkbox"/> APPLICANT	<u>same</u>
CONTACT PERSON	<u>Carol A. Byrd</u>	CONTACT PERSON	<u>''</u>
ADDRESS	<u>707 Cullens</u>	ADDRESS	<u>''</u>
CITY, STATE & ZIP	<u>Rockwall, Tx 75087</u>	CITY, STATE & ZIP	<u>''</u>
PHONE	<u>214-912-7973</u>	PHONE	<u>''</u>
E-MAIL	<u>Carolannbyrd@gmail.com</u> <u>Carolannbyrd@gmail.com</u>	E-MAIL	<u>''</u>

NOTARY VERIFICATION [REQUIRED]

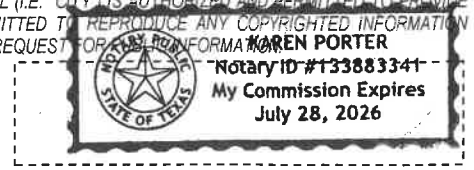
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Carol A. Byrd [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 250.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF August, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF August, 2024.

OWNER'S SIGNATURE Carol A. Byrd

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Karen Porter



MY COMMISSION EXPIRES 07/28/2026



Z2024-040: Specific Use Permit (SUP) for Residential Infill at 403 E. Kaufman Street



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

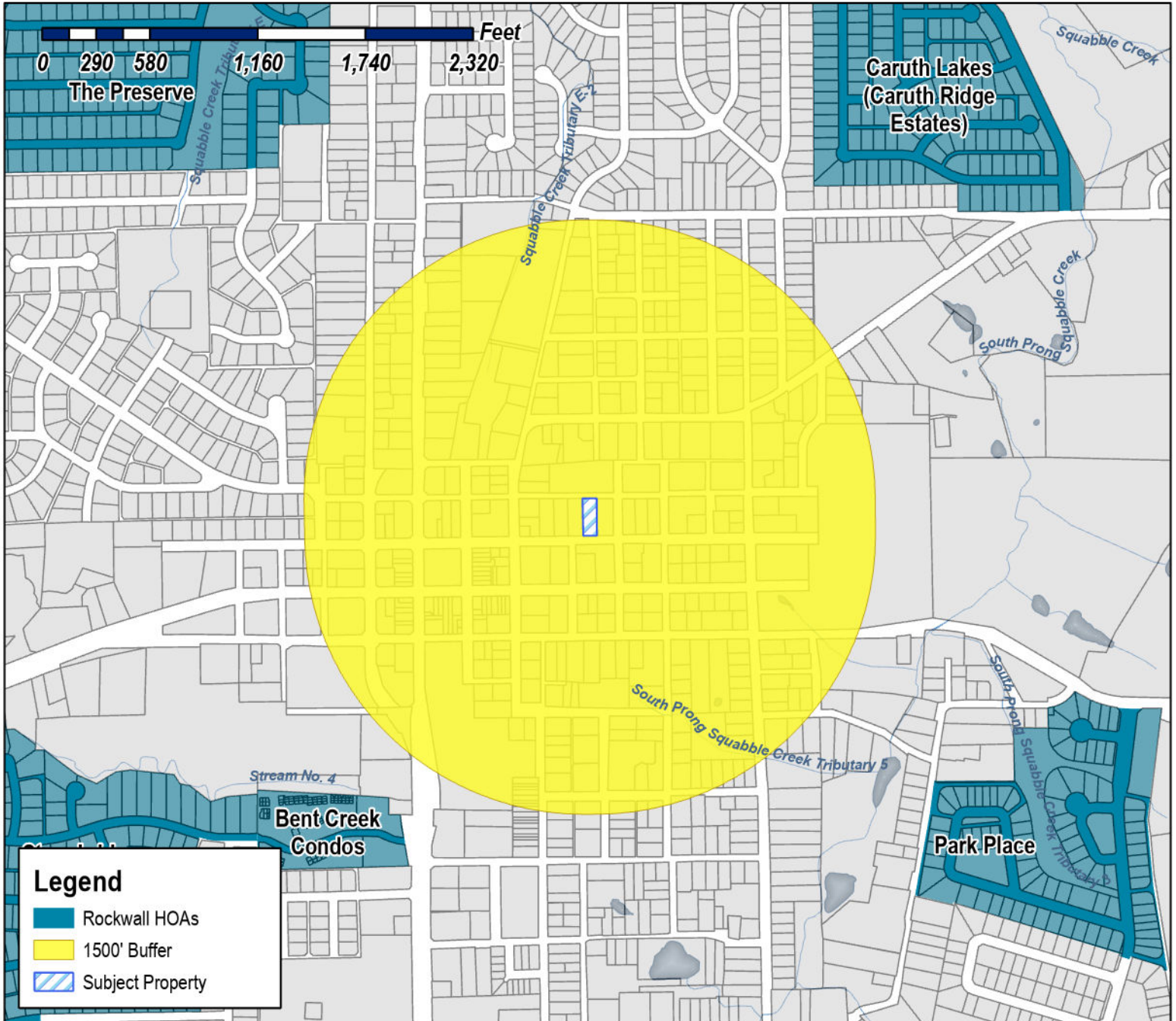




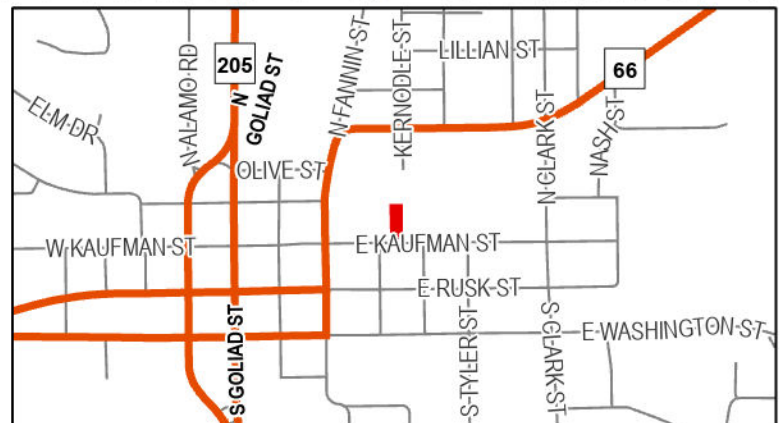
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2024-040
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 403 E. Kaufman Street



Date Saved: 8/19/2024

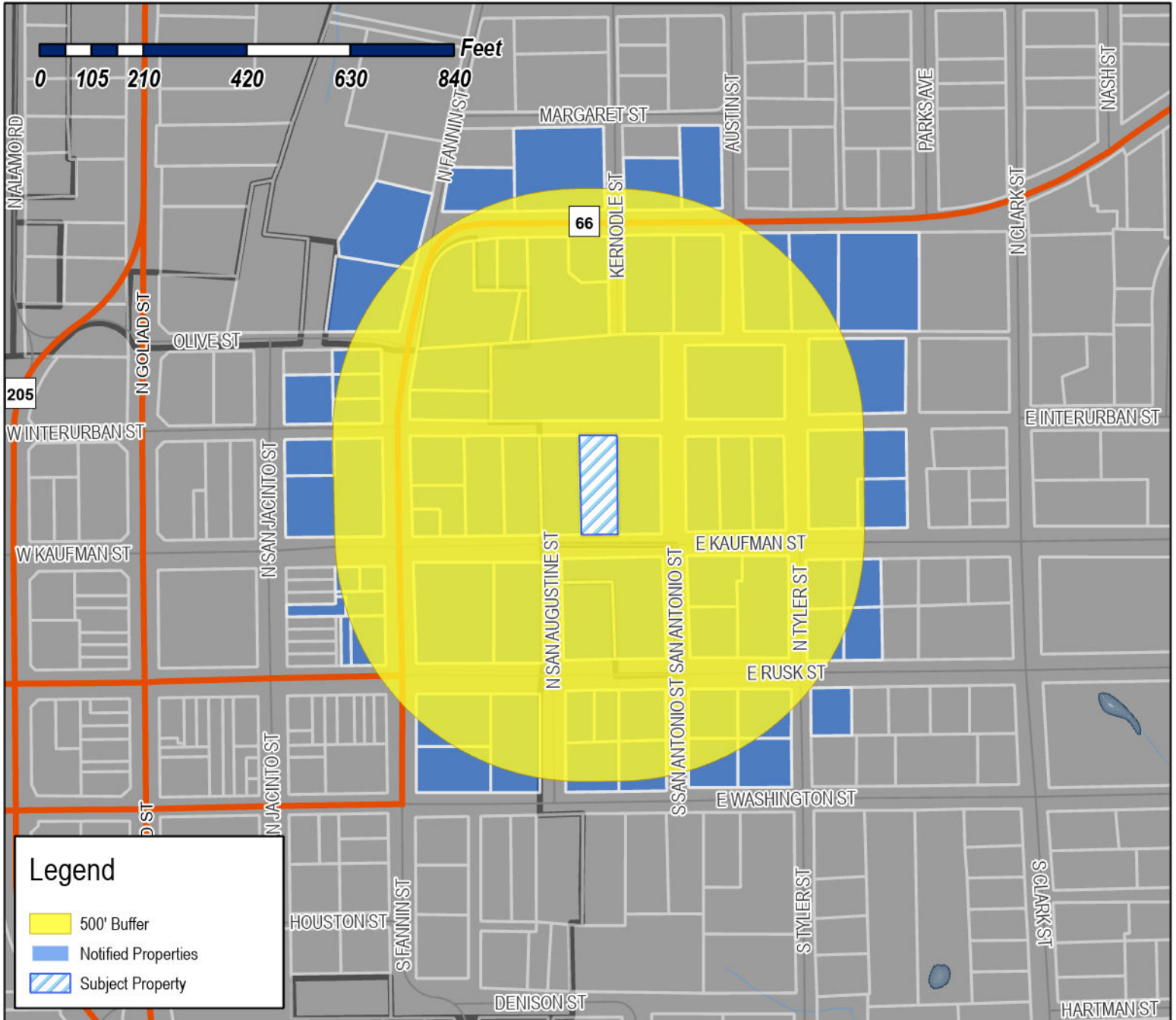
For Questions on this Case Call (972) 771-7745



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2024-040
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 403 E. Kaufman Street

Date Saved: 8/19/2024

For Questions on this Case Call: (972) 771-7745



RESIDENT
101 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
101 S FANNIN ST
ROCKWALL, TX 75087

HIS COVENANT CHILDREN INC
102 N FANNIN ST
ROCKWALL, TX 75087

QUINTON BILLY & AUTUMN
102 N TYLER ST
ROCKWALL, TX 75087

RESIDENT
103 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
105 N FANNIN ST
ROCKWALL, TX 75087

SKY 101 S FANNIN SERIES LLC
106 E RUSK SUITE 200
ROCKWALL, TX 75087

KUPPER LEROY J ET UX
108 ELM CREST DR
ROCKWALL, TX 75087

RESIDENT
110 N SAN JACINTO
ROCKWALL, TX 75087

HARPER LYDIA
1200 CLEVELAND STREET APT 327
DENTON, TX 76201

RAC OF ROCKWALL LLC
1220 CRESTCOVE
ROCKWALL, TX 75087

MORGAN MARY FRANCES COLEY
180 SAN ANTONIO STREET
ROCKWALL, TX 75087

WIMPEE JOE AND
BEAU WIMPEE
1800 DALTON RD
ROCKWALL, TX 75087

COMMUNITY BANK
201 E KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
202 N FANNIN ST
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 NORTH SAN JACINTO
ROCKWALL, TX 75087

RESIDENT
204 E KAUFMAN
ROCKWALL, TX 75087

RESIDENT
204 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
206 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
213 E RUSK
ROCKWALL, TX 75087

WELLS LEE E & LYNDA S
2146 HARRELL STREET
GREENVILLE, TX 75402

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

HILLTOP ESCAPES INC
2234 RANDAS WAY
ROCKWALL, TX 75087

RESIDENT
301 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
302 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
302 N SAN JACINTO
ROCKWALL, TX 75087

RESIDENT
303 WILLIAMS ST
ROCKWALL, TX 75087

RESIDENT
303 E RUSK
ROCKWALL, TX 75087

RESIDENT
304 WILLIAMS ST
ROCKWALL, TX 75087

KRONTZ CHRISTIAN MICHAEL & JILLIAN ABIGAIL
WRIGHT
305 E KAUFMAN ST
ROCKWALL, TX 75087

ERUDITE INCORPORATED
305 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
305 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
306 WILLIAMS ST
ROCKWALL, TX 75087

TRINITY HARBOR CHURCH
306 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
306 N FANNIN ST
ROCKWALL, TX 75087

SHIPMAN CLAYTON AUSTIN
306 WILLIAMS ST
ROCKWALL, TX 75087

WILLESS JAMES L
307 E KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
307 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
308 FANNIN
ROCKWALL, TX 75087

DEBORAH C WINES FAMILY TRUST
DEBORAH C WINES - TRUSTEE
308 WILLIAMS ST
ROCKWALL, TX 75087

PATRICIA A MAY LIVING TRUST
PATRICIA A MAY - TRUSTEES
308 WILLIAMS ST
ROCKWALL, TX 75087

ESTATE OF CHARLES W FALLS
DAVID CHARLES FALLS, EXECUTOR
309 ROOKERY CT
MARCO ISLAND, FL 34145

RESIDENT
310 WILLIAMS ST
ROCKWALL, TX 75087

BONFANTE VITTORIO & ANGELA
3111 ANNETTE CT
GARLAND, TX 75044

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

GODINEZ RAUL K AND
MAGDALENA M GALVAN-DIAZ
401 E KAUFMAN ST
ROCKWALL, TX 75087

WELCH DAVID T & TERRY E
401 E WASHINGTON STREET
ROCKWALL, TX 75087

WEST CHRISTOPHER AND
KATHERINE ROWE
401 EAST RUSK
ROCKWALL, TX 75087

RESIDENT
401 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
402 E RUSK
ROCKWALL, TX 75087

PEREIRA ASHLE RENEE
402 WILLIAMS ST
ROCKWALL, TX 75087

KNIGHT MOONEY VICKIE SUE
& HERMAN KNIGHT
403 E KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
404 E RUSK
ROCKWALL, TX 75087

RESIDENT
405 E KAUFMAN ST
ROCKWALL, TX 75087

SALVADOR MARY PEARL
405 E WASHINGTON
ROCKWALL, TX 75087

NICHOLSON JACQUELYN SUE AND PAUL
EDWARD
405 N FANNIN STREET
ROCKWALL, TX 75087

RESIDENT
406 WILLIAMS ST
ROCKWALL, TX 75087

RESIDENT
406 E KAUFMAN
ROCKWALL, TX 75087

RESIDENT
406 E RUSK
ROCKWALL, TX 75087

BOSS MORRIS E & DEBRA KAY
408 RIDGEVIEW DR
ROCKWALL, TX 75087

CM FANNIN I LP
4514 TRAVIS ST STE 326
DALLAS, TX 75205

RESIDENT
501 AUSTIN ST
ROCKWALL, TX 75087

RESIDENT
501 KERNODLE
ROCKWALL, TX 75087

BARTON SHANNON G
501 E. KAUFMAN
ROCKWALL, TX 75087

TAMEZ PEDRO ET EX
502 E RUSK ST
ROCKWALL, TX 75087

HERNANDEZ BLAS MEJIA AND ANA K
502 KERNODLE STREET
ROCKWALL, TX 75087

RYAN GARY S AND CONSTANCE E
502 WILLIAMS ST
ROCKWALL, TX 75087

RICHARDSON CATHERINE E AND TRENTON R
503 E KAUFMAN
ROCKWALL, TX 75087

ARCHER KERRY ANNE
503 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
503 E WASHINGTON
ROCKWALL, TX 75087

SUMBLIN BEN III ESTATE OF
TONI YEAGER, GUARDIAN
504 PRESIDIO DR
ROCKWALL, TX 75087

CROW CAROL RICHARDSON
504 WILLIAMS
ROCKWALL, TX 75087

RESIDENT
505 E KAUFMAN
ROCKWALL, TX 75087

DUTT JOHN RICHARD JR ETUX
505 E WASHINGTON ST
ROCKWALL, TX 75087

BIRKENBACK JOSSEPH M & OLGA M
506 E RUSK ST
ROCKWALL, TX 75087

WEBB RODNEY D AND FRAN W
507 E RUSK ST
ROCKWALL, TX 75087

FRASIER MICHAEL H AND HEATHER C
510 WILLIAMS
ROCKWALL, TX 75087

ALTA VISTA BNB, LLC
519 E I30 PMB 422
ROCKWALL, TX 75087

CAIN CHAD
5705 ALLEN LN
ROWLETT, TX 75088

RESIDENT
601 E KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
601 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
602 E RUSK
ROCKWALL, TX 75087

RASHELL NICOLE & JAKE
603 E RUSK ST
ROCKWALL, TX 75087

GALVAN CARMAN
604 E KAUFMAN ST
ROCKWALL, TX 75087

HARPER VICKI DAWSON
605 E KAUFMAN ST
ROCKWALL, TX 75087

POINTER PRICE
605 NAKOMA DR
ROCKWALL, TX 75087

PEOPLES BILLY W JR
614 COVEY TRL
ROCKWALL, TX 75087

J-PEG PROPERTIES LLC
704 N GOLIAD
ROCKWALL, TX 75087

SHIPMAN CLAY
742 RIDGE HOLLOW RD
HEATH, TX 75032

BRUCE LIVING TRUST
DANA GLENN BRUCE & JEANNE L BRUCE-
TRUSTEES
757 AVALON DR
HEATH, TX 75032

KING PACIFIC INC
8100 GREENSBORO DR
PLANO, TX 75025

SOUTHWESTERN BELL TELEPHONE CO
ATTN: PROPERTY TAX DEPT 1010 PINE, 9E-L-01
ST. LOUIS, MO 63101

CAIN REVOCABLE FAMILY TRUST AND
CREDIT SHELTER TRUST AND SURVIVORS TRUST
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR
ROCKWALL, TX 75087

ROCKWALL ISD TR
FOR ROCKWALL TAXING ENTITIES
, 0

ROCK N' ROLL REALTY LLC
PO BOX 2571
ROCKWALL, TX 75087

CHRIST FOR INDIA
PO BOX 271086
DALLAS, TX 75227

RUTH DOWER LIVING TRUST DATED JUNE 3,
2014
RUTH DOWER TRUSTEE
PO BOX 871239
MESQUITE, TX 75187

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-040: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by Carol A. Byrd for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.2850-acre parcel of land identified as Lot 5B, Block 5, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 403 E. Kaufman Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 10, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-040: SUP for a Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [text box]
Address: [text box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

GENERAL NOTES AND SPECIFICATIONS:

1. Comply with applicable building codes and related amendments.
2. Bring errors, omissions and inconsistencies in drawings or ambiguities between drawings and site construction conditions to attention of the Architect.
3. Notify Architect in event of discrepancies in contract documents.
4. Mechanical and landscape drawings by others.
5. Verify location of utilities serving site.

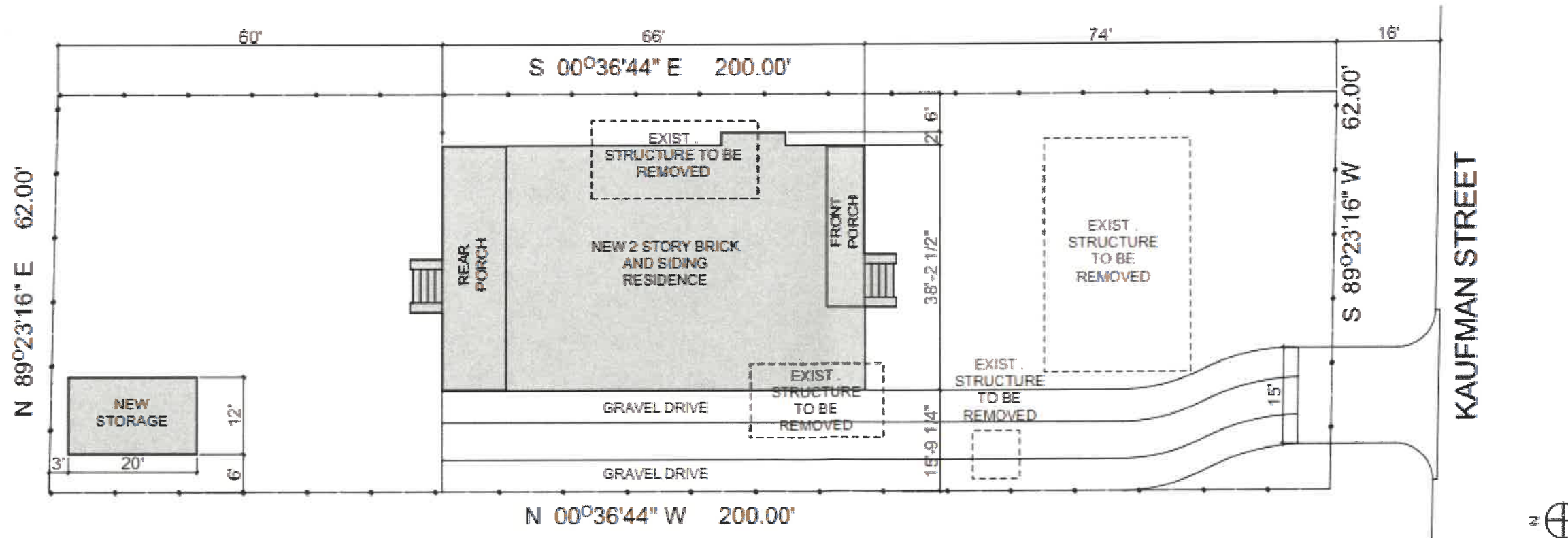
7. Location of HVAC units and water heaters, determined by others.
8. Vent clothes dryers to outside.
9. Run all roof vents behind front ridge.
10. Contractor to locate and coordinate placement of electrical fixtures and plumbing penetrations prior to placing ceiling joists.

FOR DIMENSIONING PURPOSES:

1. Do not scale drawings.
2. Verify dimensions, notify Architect of discrepancies.
3. All dimensions to face of stud or outside face of foundation unless otherwise indicated.

SQUARE FOOTAGES

A/C		NON A/C	
FIRST FLOOR	1,920 s.f.	FRONT PORCH	148 s.f.
SECOND FLOOR	353 s.f.	REAR PORCH	380 s.f.
TOTAL	2,273 s.f.	TOTAL NON A/C	528 s.f.



01 SITE PLAN
SCALE: 1/8" = 1'-0"

New Construction For
403 E. KAUFMAN STREET
403 E. KAUFMAN STREET, ROCKWALL, TEXAS 75082

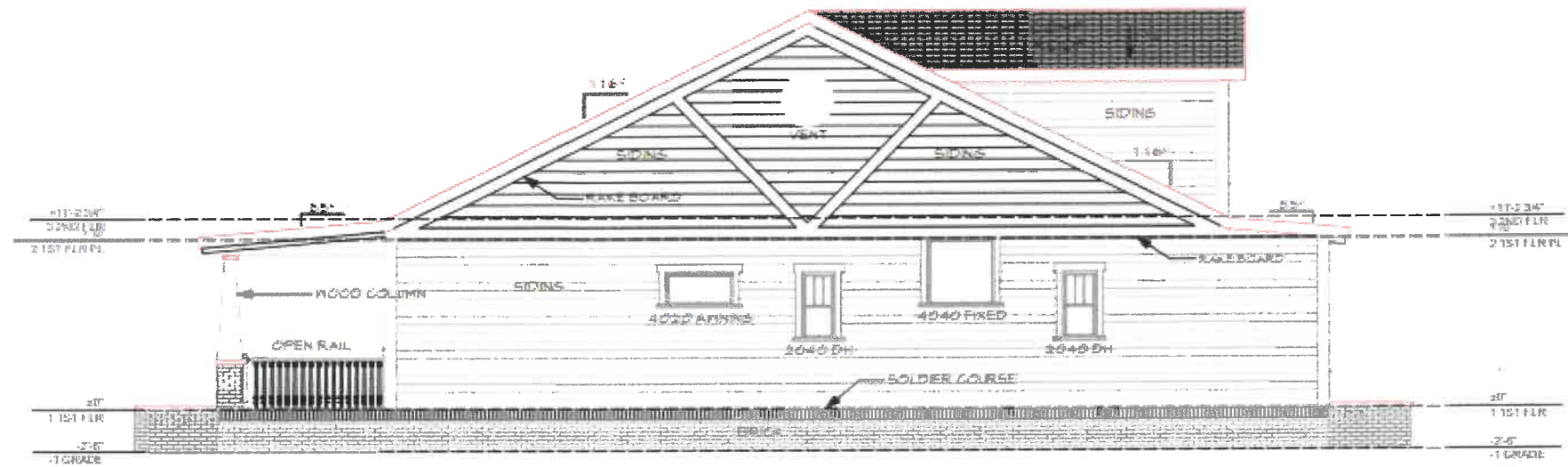
REVISED 10/28/2014
R. E. KINDRED ARCHITECT
0111 KAUFMAN ST. ROCKWALL, TEXAS 75082

PREPARED FOR: [REDACTED]
NOT FOR CONSTRUCTION OR REGULATORY PURPOSES

Job Address: 403 E. Kaufman Street, Rockwall, Texas 75082
Client: [REDACTED]
Architect: [REDACTED]
Scale: [REDACTED]

A 1.00

Plan No. 133324



02 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



01 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

New Construction For
403 E. KAUFMAN STREET
 403 E. KAUFMAN STREET, ROCKWALL, TEXAS 75032

ASSOCIATES
R. E. KINDRED
 ARCHITECTS
 831 Lakewood Dr. #101
 Rockwall, TX 75087
 Phone: 972.984.1308

PREPARED BY: R.E.K.
 DATE: 12/15/2017

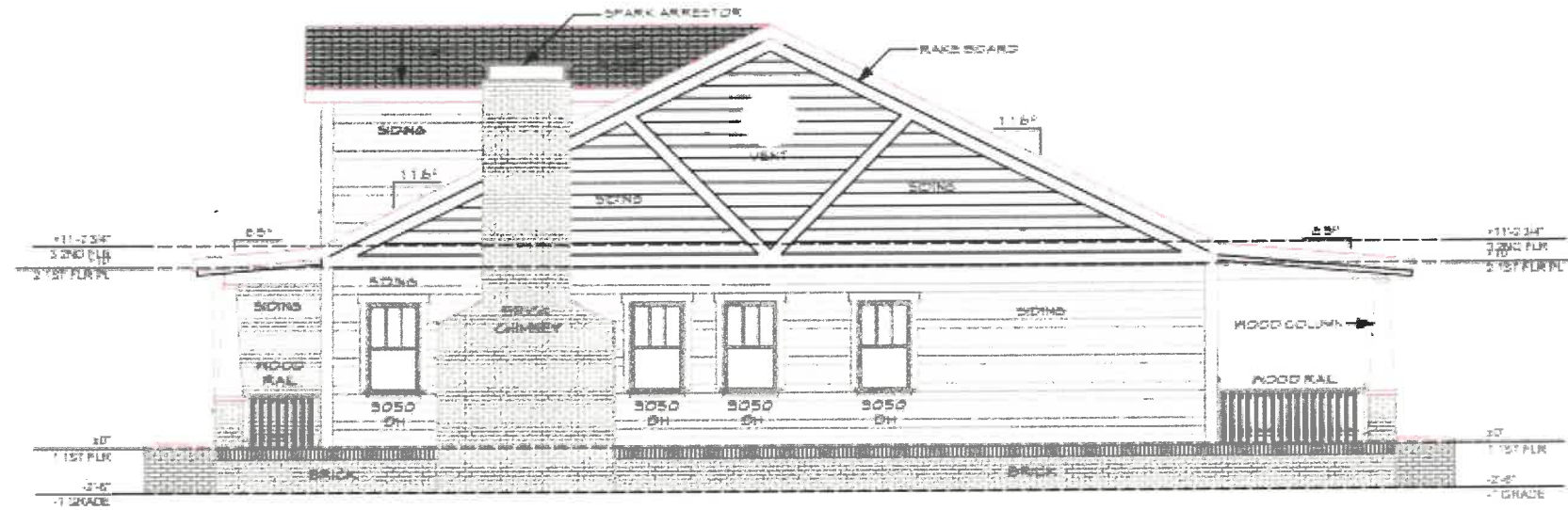
THIS DRAWING IS AN EXCERPT FROM A SET OF ARCHITECTURAL DRAWINGS FOR THE PROJECT OF CONSTRUCTION OF RESIDENTIAL APARTMENT.

LUMP: 07.13.21

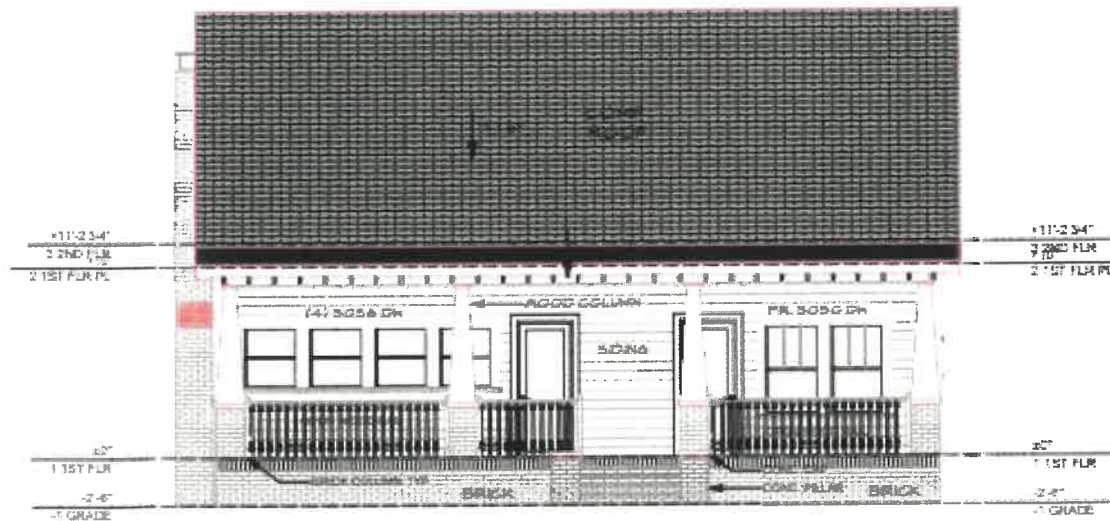
JOB NUMBER:
 403 E. Kaufman Street
 Rockwall, Texas 75087

Drawn by: R.E.K.
 Checked by: R.E.K.

Sheet Number:
A 1.02
 Project No.: 122301



03 SECTION C
SCALE: 1/4" = 1'-0"



01 REAR ELEVATION
SCALE: 1/4" = 1'-0"

Notes

New Construction For
403 E. KAUFMAN STREET
 403 E. KAUFMAN STREET, ROCKWALL, TEXAS 75032

REGISTERED ARCHITECT
R. E. KINDRED
 ARCHITECT
 403 E. KAUFMAN STREET, ROCKWALL, TEXAS 75032
 PH: 972.988.1800

WILLIAMSON
 STATE OCCASION
 NO. 1-14 CONSTRUCTION
 OR REGULATORY
 APPROVAL

Date: 07.24.21

JOY ASHMAN
 800 E. Kaufman Street
 Rockwall, Texas 75087

Checked By: R.E.K.

Designed By: R.E.K.

Sheet Number:

A 1.03

Project No: 22003



LEGEND

- | | |
|---------------------------------|-----------------------------------|
| ○ 1/2" ROD FOUND | □ FENCE POST FOR CORNER |
| ⊗ 1/2" ROD SET | CM CONTROLLING MONUMENT |
| ○ 1-1/2" PIPE FOUND | AC AIR CONDITIONER |
| ⊕ 1" ROD FOUND | PE POOL EQUIPMENT |
| ⊕ 1" PIPE FOUND | ● POWER POLE |
| T TRANSFORMER PAD | △ OVERHEAD ELECTRIC |
| ■ COLUMN | — RJ — IRON FENCE |
| ▲ UNDERGROUND ELECTRIC | — X — BARBED WIRE |
| — ONP — OVERHEAD ELECTRIC POWER | — OES — OVERHEAD ELECTRIC SERVICE |
| — CHAIN LINK | — WOOD FENCE 0.5' WIDE TYPICAL |
| — DOUBLE SIDED WOOD FENCE | |
| | □ EDGE OF ASPHALT |
| | □ EDGE OF GRAVEL |
| | □ STONE |
| | □ CONCRETE |
| | □ COVERED AREA |
| | □ BRICK |

EXCEPTIONS:

NOTES:
 BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.
 FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Allegiance Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions are as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Date: _____ Accepted by: _____
 Purchaser
 Purchaser

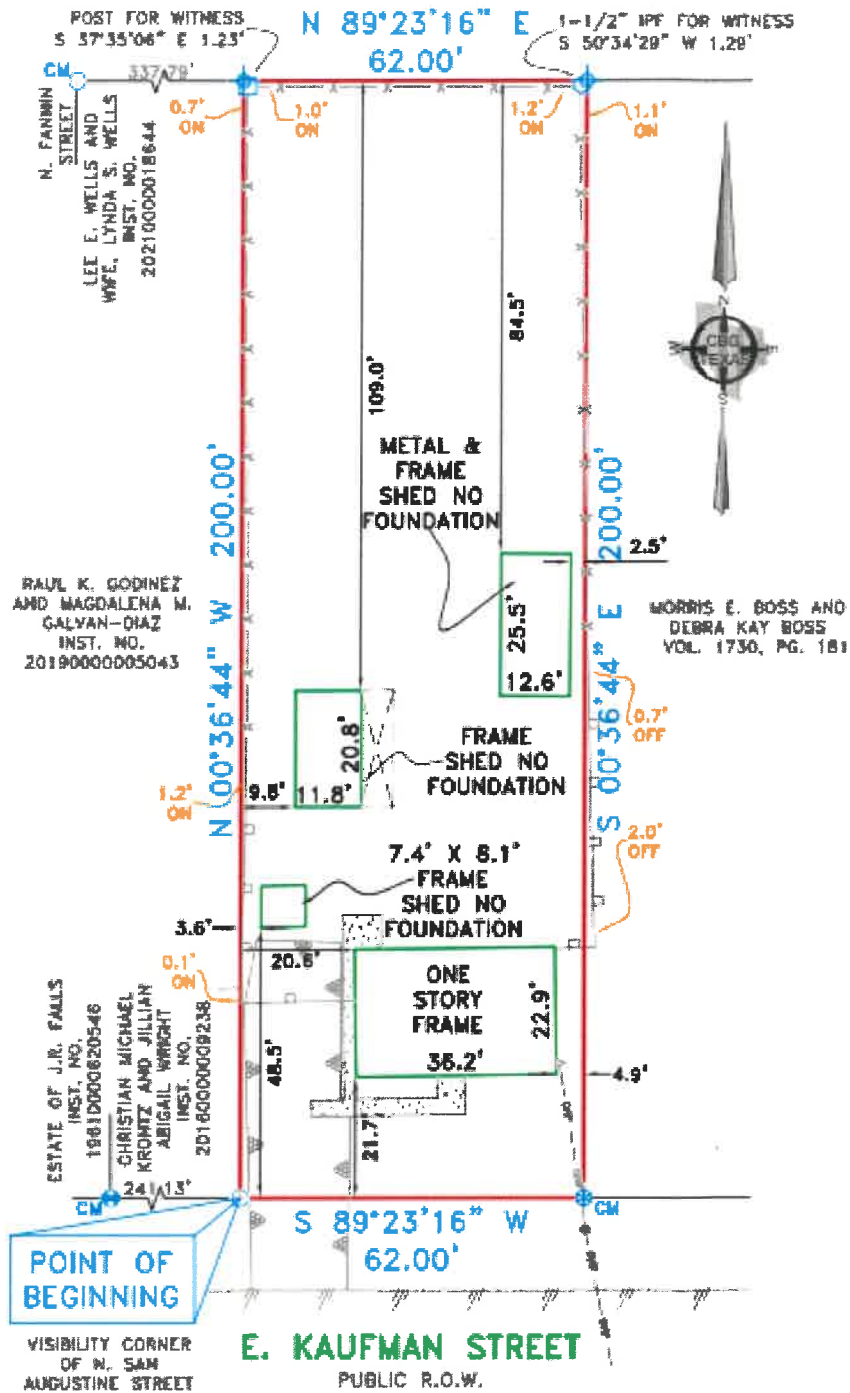
Drawn By: WRV
 Scale: 1" = 30'
 Date: 05/17/2024
 GF NO.: ALG-1705-3017052400350-JJ
 Job No. 2407462

CBG SURVEYING TEXAS LLC
 419 Century Plaza Dr., Ste. 210
 Houston, TX 77073
 P 214.348.9485
 F 214.348.2216
 Firm No. 10194280
 www.cbgtllc.com



E. INTERURBAN STREET

PUBLIC R.O.W.



403 E. Kaufman Street

Being a tract of land situated in the Benjamin F. Boydston Survey, Abstract No. 14, Rockwall County, Texas, some being a tract of land conveyed to Vickie Sue Knight-Mooney, by deed recorded in Volume 306, Page 180, Deed Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 Inch Iron rod found for corner, said corner being in the North line of East Kaufman Street (Public Right-of-Way), same being the Southeast corner of that tract of land conveyed to Raul K. Godinez and Magdalena M. Galvan-Diaz, by deed recorded in Instrument No. 2019000005043, Deed Records of Rockwall County, Texas, from which a 1 inch Iron rod found at the southern common corner of that tract of land conveyed to J.R. Falls, by deed recorded in Instrument No. 19610000620546, Deed Records of Rockwall County, Texas, and that tract of land conveyed to Christian Michael Krantz and Jillian Abigail Wright, by deed recorded in Instrument No. 201600009238, Deed Records of Rockwall County, Texas, bears South 89 degrees 23 minutes 16 seconds West, a distance of 241.13 feet;

THENCE North 00 degrees 36 minutes 44 seconds West, along the East line of said Godinez/Galvan-Diaz Tract, a distance of 200.00 feet to a point for corner, said corner being in the South line of East Interurban Street (Public Right-of-Way), from which a 1/2 Inch Iron rod found for witness at the Northwest corner of that tract of land conveyed to Lee E. Wells and wife, Lynda S. Wells, by deed recorded in Instrument No. 2021000018644, Deed Records of Rockwall County, Texas, bears South 89 degrees 23 minutes 16 seconds West, a distance of 337.79 feet, and from which a post found for witness bears South 37 degrees 35 minutes 06 seconds East, a distance of 1.23 feet;

THENCE North 89 degrees 23 minutes 16 seconds East, along the South line of said East Interurban Street, a distance of 62.00 feet to a point for corner, said corner being the Northwest corner of that tract of land conveyed to Morris E. Boss and Debra Kay Boss, by deed recorded in Volume 1730, Page 181, Deed Records of Rockwall County, Texas, from which a 1-1/2 Inch Iron pipe found for witness bears South 50 degrees 34 minutes 29 seconds East, a distance of 1.29 feet;

THENCE South 00 degrees 36 minutes 44 seconds East, along the West line of said Boss tract, a distance of 200.00 feet to a 1 inch Iron pipe found for corner, said corner being in the North line of said East Kaufman Street, same being the Southwest corner of said Boss Tract;

THENCE South 89 degree 23 minutes 16 seconds West, along the North line of said East Kaufman Street, a distance of 82.00 feet to the POINT OF BEGINNING and containing 12,400.00 square feet or 0.28 acres of land.



FRONT VIEW



FRONT VIEW



RIGHT SIDE VIEW



LEFT SIDE VIEW



REAR VIEW

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2850-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 5B, BLOCK 5, GRIFFITH ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Carol A. Byrd for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2850-acre parcel of land identified as Lot 5B, Block 5, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned for Single-Family 7 (SF-7) District land uses, addressed as 403 E. Kaufman Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore

amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7th DAY OF OCTOBER, 2024.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: September 16, 2024

2nd Reading: October 7, 2024

Exhibit 'A':
Location Map

Address: 403 E. Kaufman Street

Legal Description: Lot 5B, Block 5, Griffith Addition



**Exhibit 'B':
Residential Plot Plan**

N 89°23'16" E 62.00'

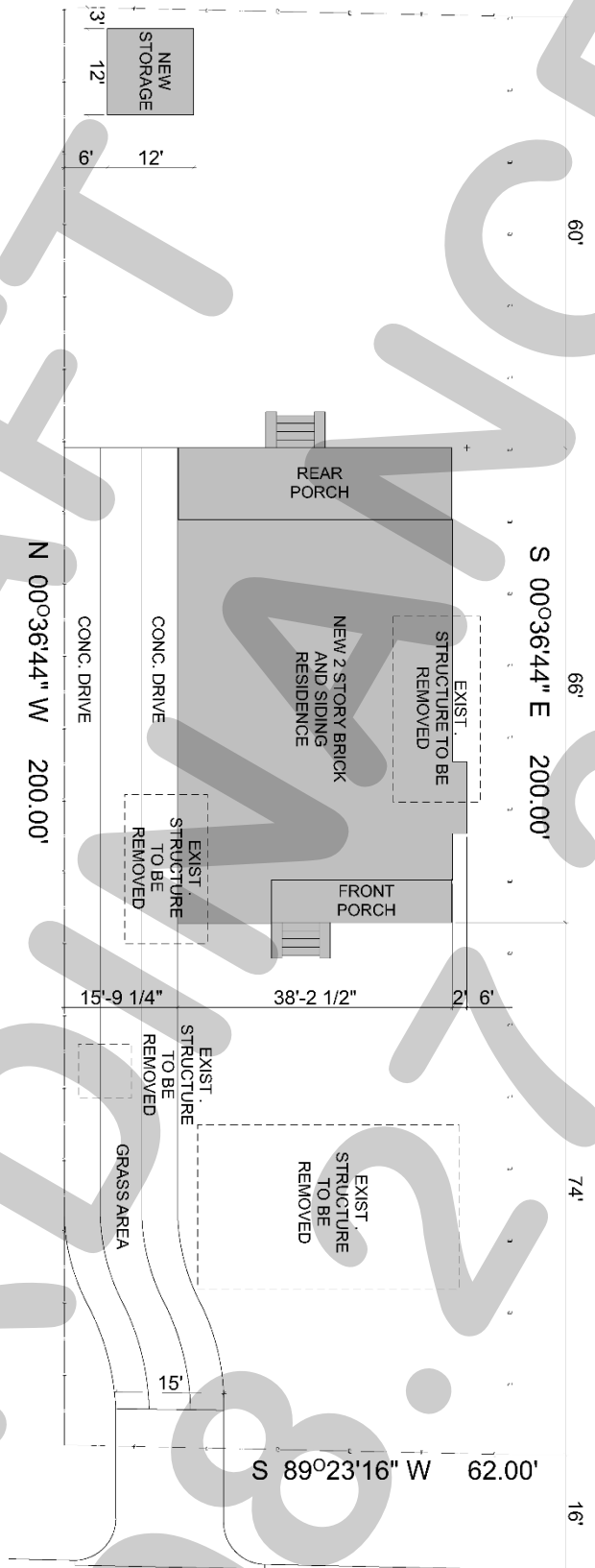
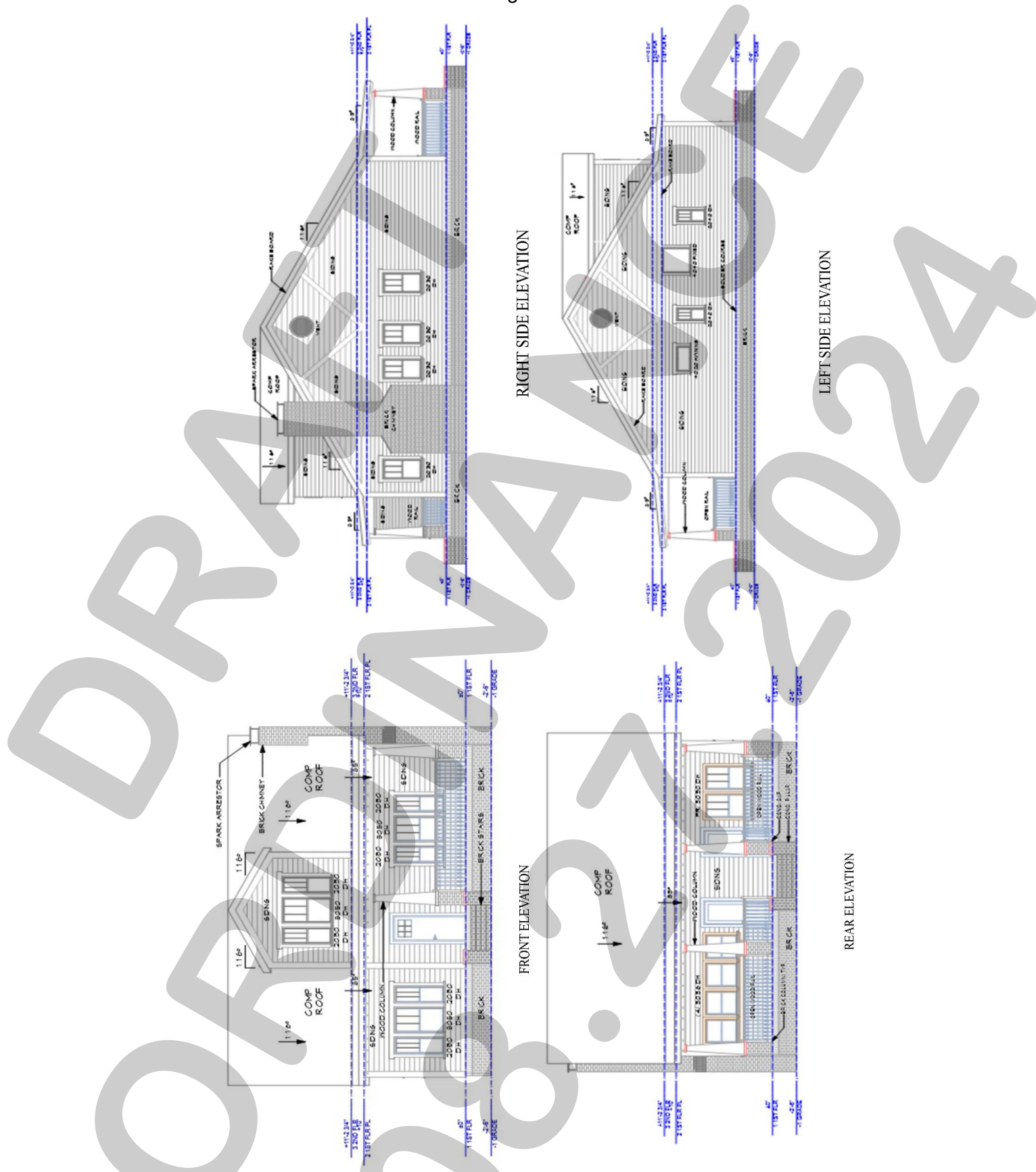


Exhibit 'C':
Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/23/2024

PROJECT NUMBER: SP2024-039
PROJECT NAME: Site Plan for Peachtree Meadows Amenity Center
SITE ADDRESS/LOCATIONS: 1400 CHASTAIN ST, ROCKWALL, TX 75032

CASE CAPTION: Discuss and consider a request by Cody Johnson of Johnson Volk Consulting on behalf of Kyle Tressler of Qualico Development, Inc. for the approval of a Site Plan for an Amenity Center for the Peachtree Meadows Subdivision situated on a 1.06-acre portion of a larger 45.95-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [Ordinance No. 23-11] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/23/2024	Needs Review

08/23/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an Amenity Center for the Peachtree Meadows Subdivision situated on a 1.06-acre portion of a larger 45.95-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [Ordinance No. 23-11] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2024-039) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC).

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Planned Development District 101 (PD-101).

M.5 Photometric Plan:

- (1) Light levels may not exceed 0.2 FC at all property lines. There are a few areas of non-conformance. (Article 07, UDC)
- (2) Please consider reducing the light levels that spill to the northwest. This will be the closest residence to the lighting and it appears light levels are higher in this area. (Article 07, UDC)
- (3) Please consider light fixtures that can be dimmed. Several properties have their rear yards face this property and the light levels are near maximum. (Article 07, UDC)

M.6 Building Elevations:

- (1) Please provide elevations of the smaller shade structures. (Ordinance No. 23-11; PD-101)
- (2) Please indicate the roof pitch on the larger shade structure; it must be 8:12. (Ordinance No. 23-11; PD-101)
- (3) The restroom building must have 90% masonry, which is defined as brick and stone in the PD Ordinance. The Ordinance only allows less on the homes. Please revise the building to reflect this. (Ordinance No. 23-11; PD-101)

I.7 Please note that failure to address all comments provided by staff by 3:00 PM on September 4, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 4, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 10, 2024 Planning & Zoning Meeting.

I.9 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on August 27, 2024.
- 2) Planning & Zoning meeting/public hearing meeting will be held on September 10, 2024.

I.10 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/23/2024	Approved w/ Comments

- 08/23/2024: 1. We never received these retaining wall plans. You will need to submit engineered wall plans to us for review and approval.
2. Does the fire hydrant need to be "flipped" out of the parking
 3. Open cutting will not be allowed. You will need to bore under this roadway to make this sewer connection.
 4. Must be min 6".
 5. Ensure all standard details are the latest details in the City's 2023 Standards of Design and Construction Manual.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees for any public improvements
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width (if needed) is 20' for new easements.
- No structures, including walls, are allowed in easements.
- Retaining walls (if needed) 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- No structures or fences with easements.
- All utilities must be underground.
- Additional comments may be provided at the time of Engineering site/civil plan review.

Drainage Items:

- Existing flow patterns must be maintained.
- 4:1 maximum side slopes.
- No grate inlets allowed.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems and flow path.

Water and Wastewater Items:

- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole. If sewer is needed, sewer impact fee will need to be paid.
- Any utility connection made underneath of an existing public roadway must be completed by dry bore. Opening cutting will not be allowed.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements (if needed).
- Water to be 10' separated from storm and sewer lines.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

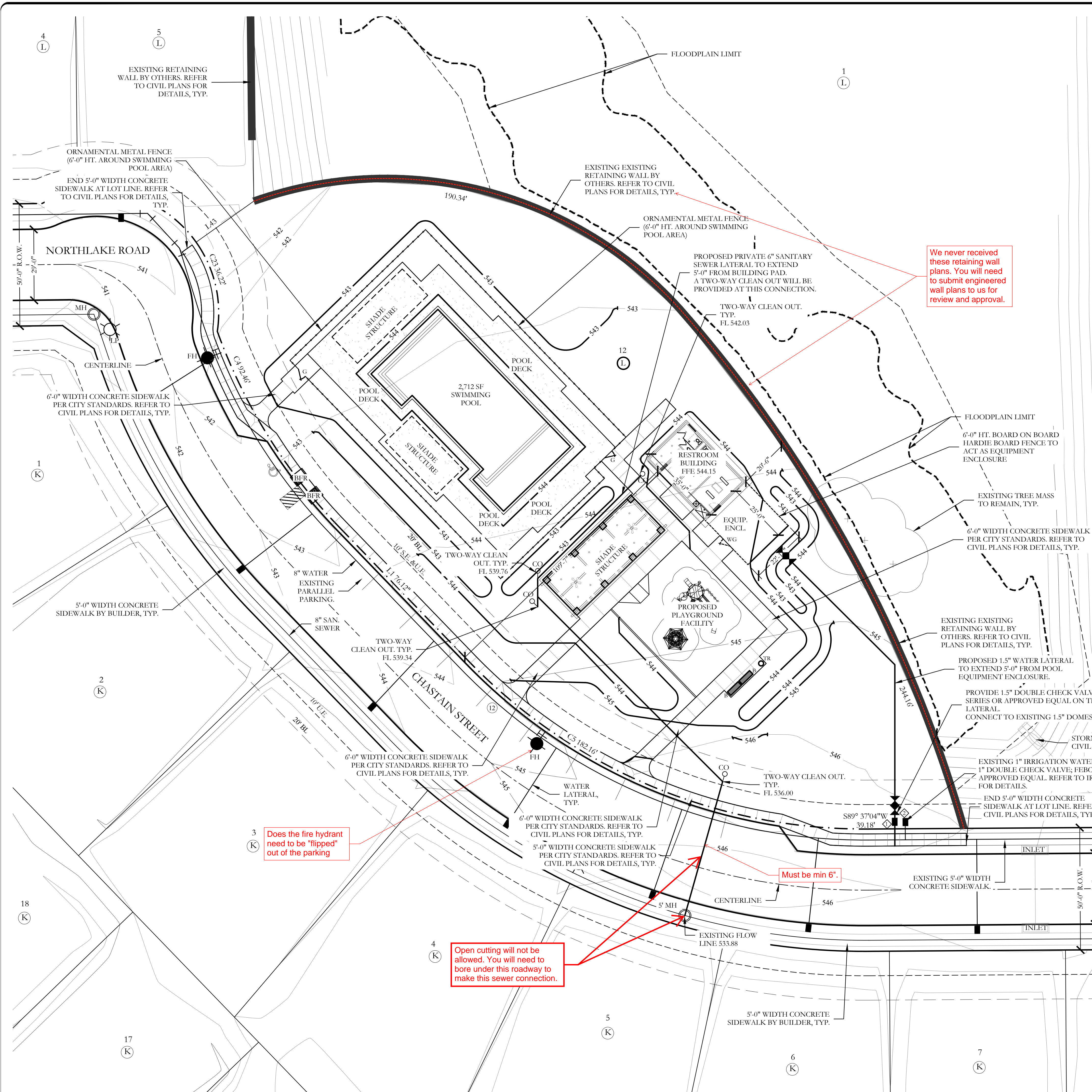
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Henry Lee	08/23/2024	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/20/2024	Approved w/ Comments
08/20/2024: Assigned address will be 1400 CHASTAIN ST, ROCKWALL, TX 75032			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/16/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	08/23/2024	N/A
No Comments			



12	EXISTING PARKING COUNT
BFR	BARRIER FREE RAMP
FH	EXISTING FIRE HYDRANT
MH	EXISTING SANITARY SEWER MANHOLE
— —	EXISTING WATER MAIN W/ VALVE
— —	EXISTING SANITARY SEWER
— —	EXISTING STORM
— —	EXISTING CURB INLET
— —	RIGHT-OF-WAY
LP	LIGHT POLE
— 544 —	EXISTING CONTOUR INTERVAL
FFE 544.15	FINISHED FLOOR ELEVATION

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees for any public improvements
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width (if needed) is 20' for new easements.
- No structures, including walls, are allowed in easements.
- Retaining walls (if needed) 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- No structures or fences with easements.
- All utilities must be underground.
- Additional comments may be provided at the time of Engineering site/civil plan review.

Drainage Items:

- Existing flow patterns must be maintained.
- 4:1 maximum side slopes.
- No grate inlets allowed.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems and flow path.

Water and Wastewater Items:

- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole. If sewer is needed, sewer impact fee will need to be paid.
- Any utility connection made underneath of an existing public roadway must be completed by dry bore. Opening cutting will not be allowed.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements (if needed).
- Water to be 10' separated from storm and sewer lines.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

Commission of the City of Rockwall on the ___ day of ___, ___.

WITNESS OUR HANDS, this ___ day of ___, ___.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER		SAN. SERVICE SIZE
			DOM.	IRR.	
◇	1.5"	1.5"	X		6"
◇	1"	1"		X	

SITE INFORMATION

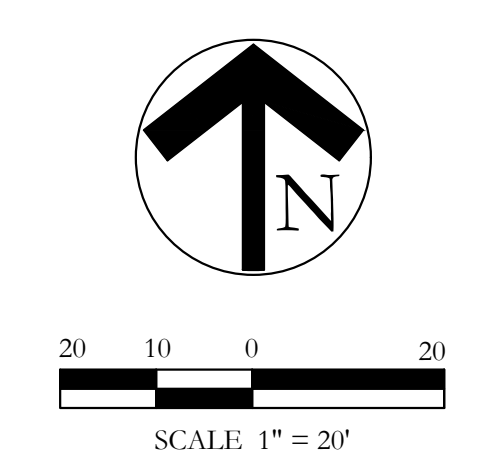
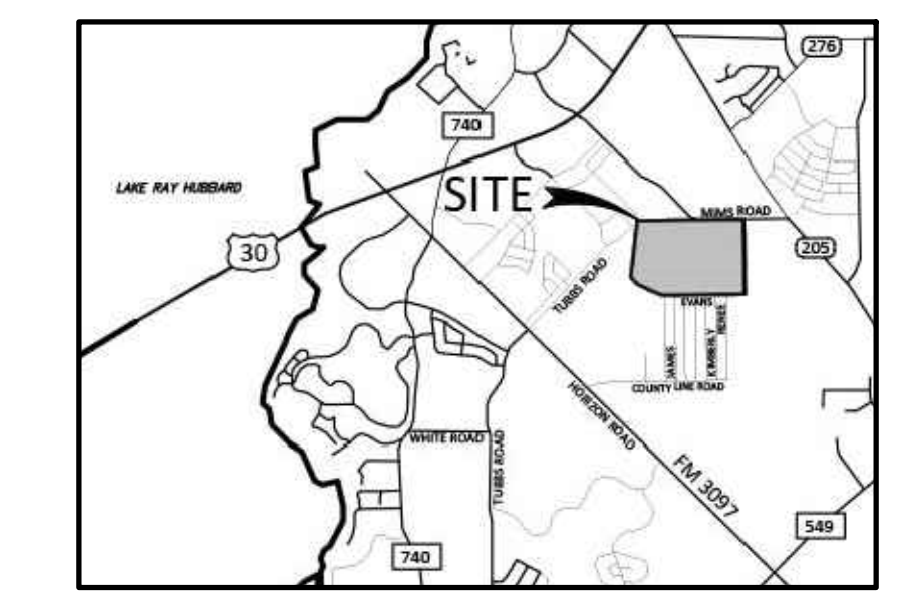
SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 1.06 ACRES
 46,211.00 SQ. FT.

BUILDING AREA: 792.00 SQUARE FEET
 BUILDING HEIGHT: 20'-3" (1 STORY)

FLOOR TO AREA: 0.0173 [792/46,211]
 LOT COVERAGE: 1.71%

TOTAL IMPERVIOUS SURFACE: 15,147.08 SF
 PROPOSED IMPERVIOUS RATIO: 0.3277 OR 32.77%
 INTERIOR LANDSCAPE PROVIDED: 31,063.92 SF

POOL DECK SURFACE: 4,884.00 SF



SITE PLAN
PEACHTREE MEADOWS
PHASE I
LOT 12, BLOCK L
~AMENITY CENTER~

1.06 ACRES SITUATED IN THE
 G. WELLS SURVEY,
 ABSTRACT NO. 219 AND
 J.R. JOHNSTON SURVEY, ABSTRACT NO. 128
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

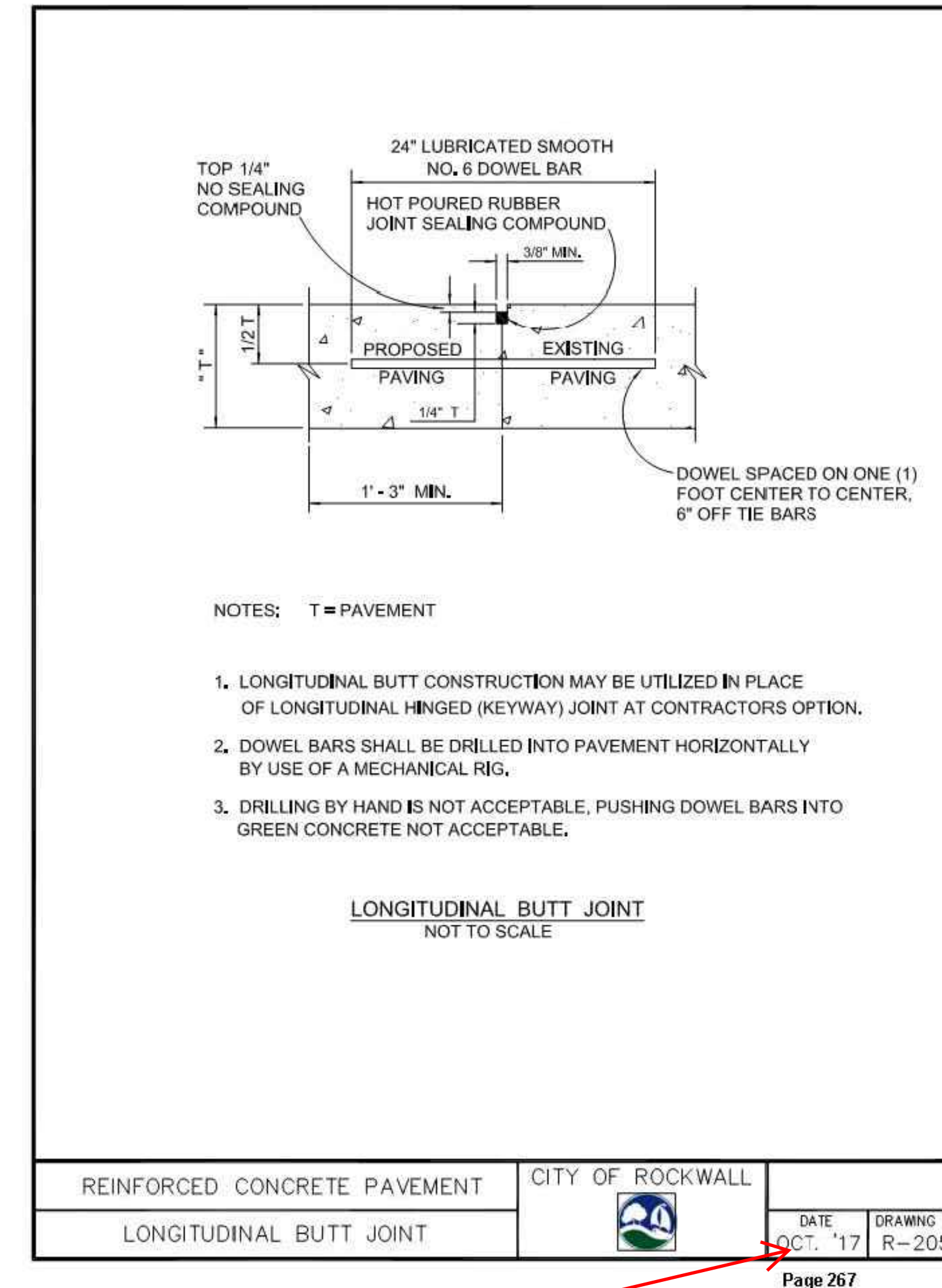
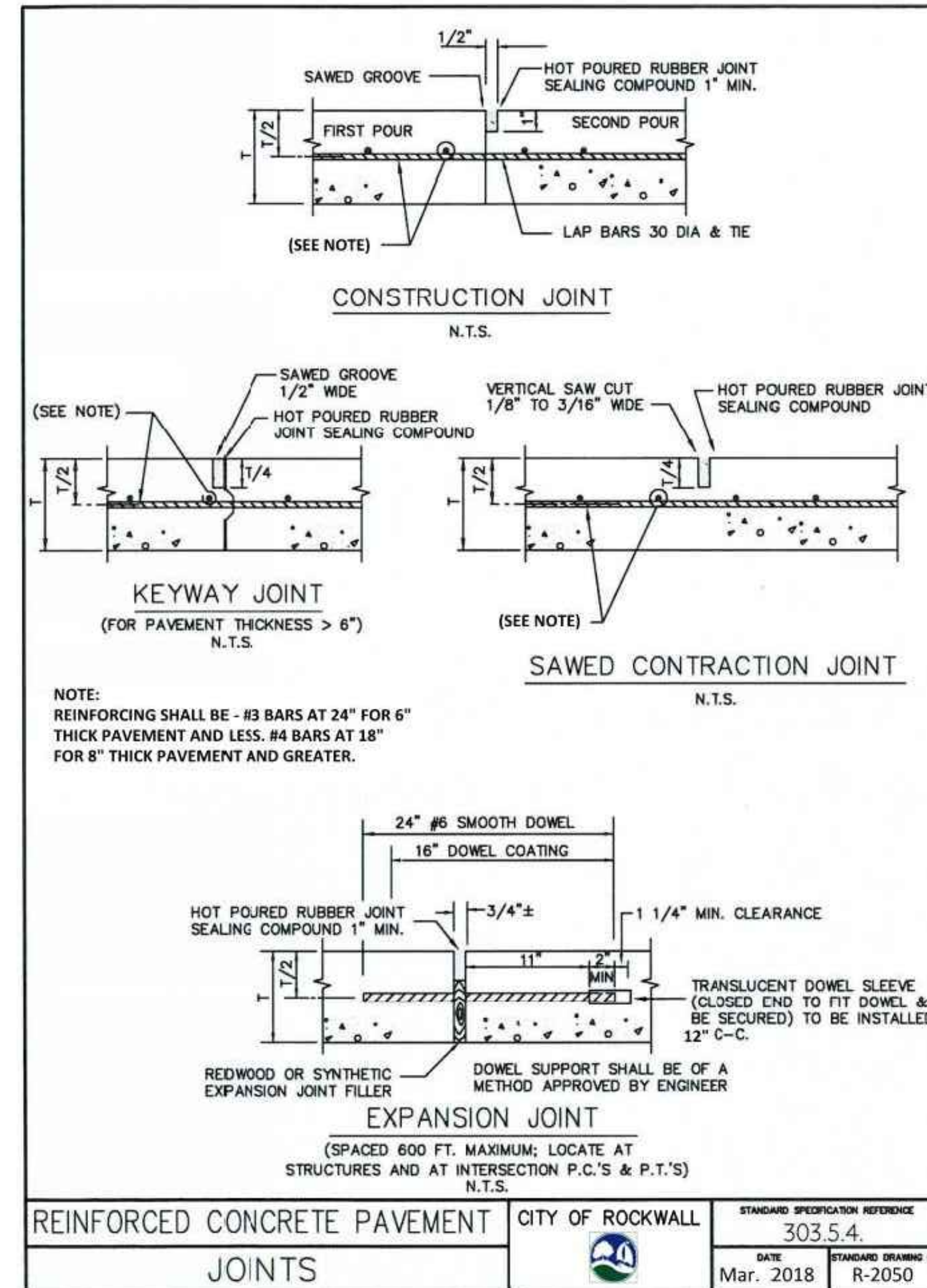
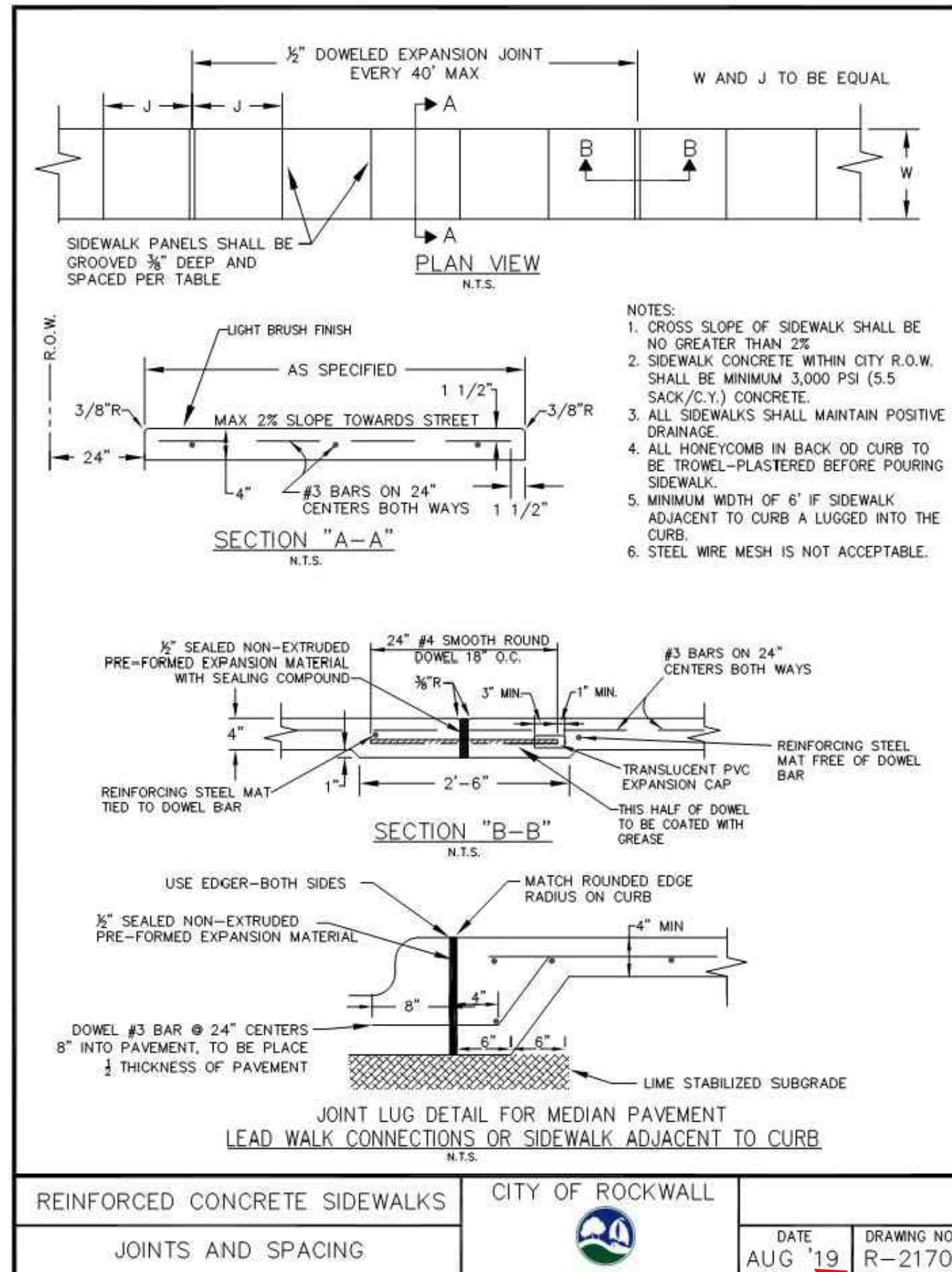
- SITE PLAN NOTES:**
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
 - FOR ALL BARRIER FREE RAMP NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
 - ALL PARKING ON SITE IS EXISTING.
 - THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
 - THE POOL EQUIPMENT FENCING SHALL BE 6'-0" HT. BOARD ON BOARD HARDIE BOARD FENCE.
 - ALL SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.



OWNER / DEVELOPER:
 QUALICO DEVELOPMENT (U.S.), INC
 6950 TPC DRIVE, SUITE 350
 MCKINNEY, TEXAS 75070
 CONTACT: KYLE TRESSLER

LANDSCAPE ARCHITECT/CIVIL ENGINEER:
 JOHNSON VOLK CONSULTING
 704 CENTRAL PARKWAY EAST, SUITE 1200
 PLANO, TEXAS 75074
 PH. (972) 201-3100
 CONTACT: CODY JOHNSON, RLA, ASLA, LI

CITY CASE NUMBER TBD PEACHTREE MEADOWS AMENITY CENTER



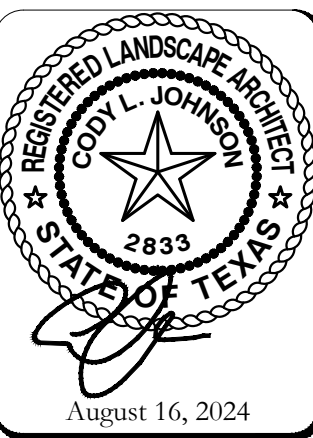
Ensure all standard details are the latest details in the City's 2023 Standards of Design and Construction Manual.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, ___.

WITNESS OUR HANDS, this ___ day of ___, ___.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Amenity Center within Peachtree Meadows**

SUBDIVISION **Peachtree Meadows**

LOT

12

BLOCK

L

GENERAL LOCATION **Chastain Street adjacent to Northlake Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Single Family Residential**

CURRENT USE

Private Recreation Center

PROPOSED ZONING **Single Family Residential**

PROPOSED USE

Private Recreational Center

ACREAGE **1.06**

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Qualico Developement (U.S.), INC**

APPLICANT **Johnson Volk Consulting**

CONTACT PERSON **Kyle Tressler**

CONTACT PERSON **Cody Johnson**

ADDRESS **6950 TPC Drive, Suite 350**

ADDRESS **704 Central Parkway East, Suite 1200**

CITY, STATE & ZIP **McKinney, Texas 75070**

CITY, STATE & ZIP **Plano, TX 75074**

PHONE **469-659-6152**

PHONE **972-201-3100**

E-MAIL **kyle.tressler@qualico.com**

E-MAIL **cody.johnson@johnsonvolk.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kyle Tressler [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$271.20 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 6th DAY OF August, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.*

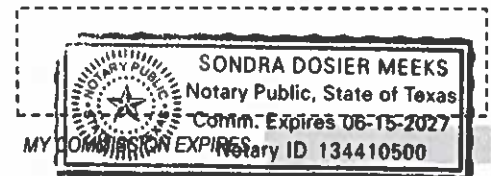
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6th DAY OF August, 2024

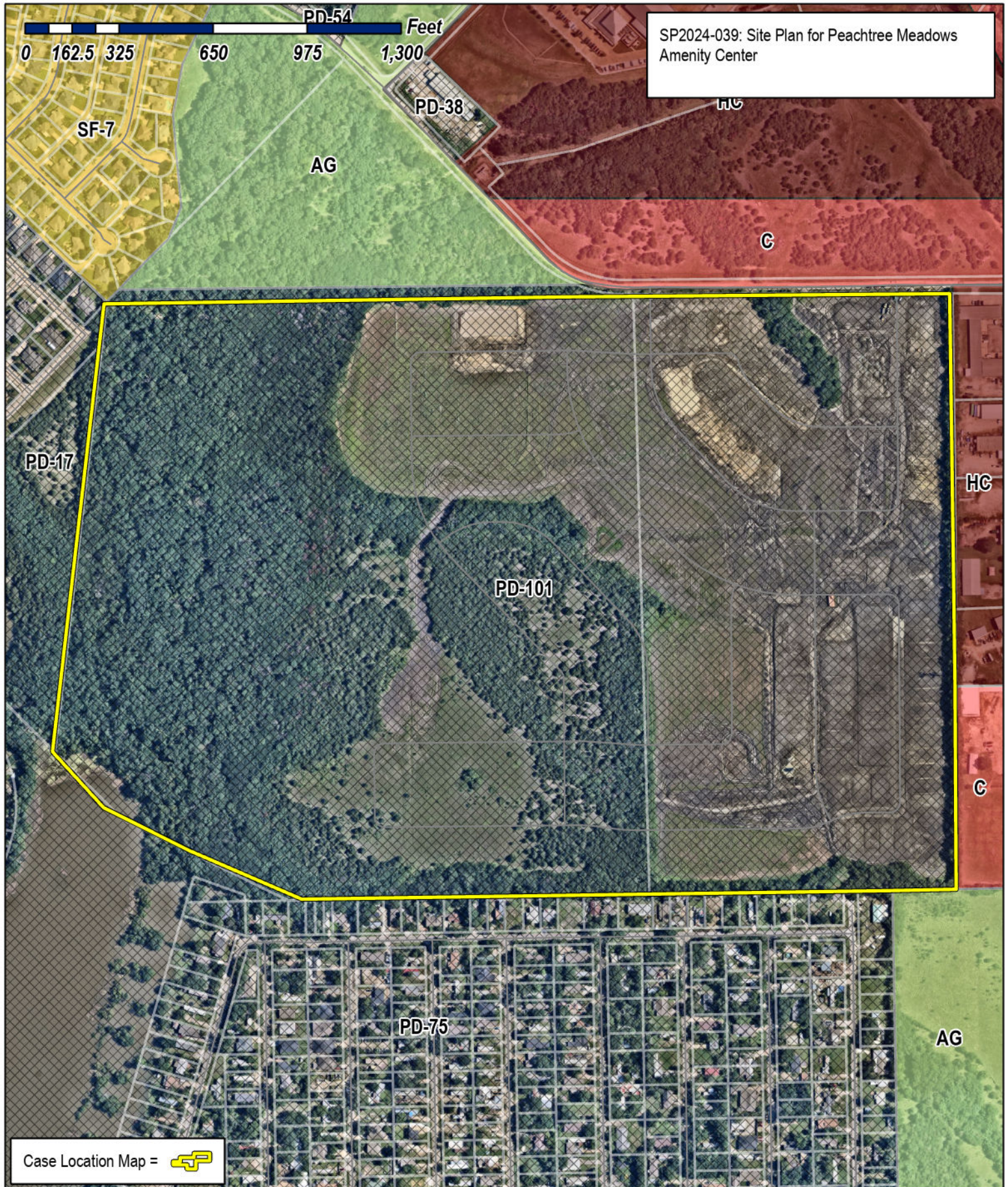
OWNER'S SIGNATURE

[Signature]


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature] **Sondra Dosier Meeks**





SP2024-039: Site Plan for Peachtree Meadows Amenity Center

Case Location Map = 

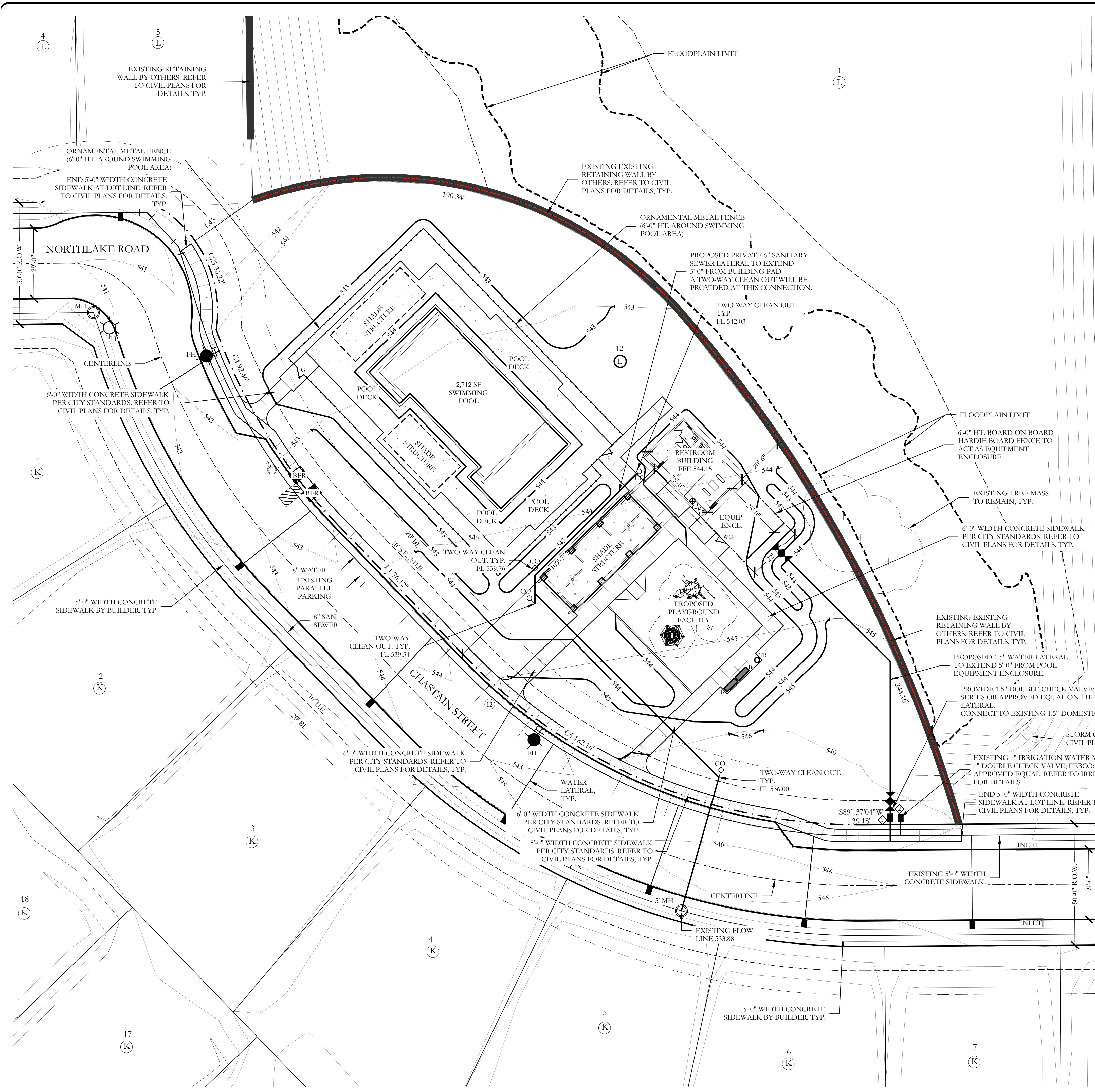


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND

(12)	EXISTING PARKING COUNT	◊	EXISTING 1.5" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	◊	EXISTING 1" IRRIGATION WATER METER
FH	EXISTING FIRE HYDRANT	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
MH	EXISTING SANITARY SEWER MANHOLE	—	1 - 4'-0" WIDTH SELF-LATCHING, SELF-CLOSING METAL GATE
—	EXISTING WATER MAIN W/ VALVE	—	1 - 4'-0" WIDTH SELF-LATCHING, SELF-CLOSING WOODEN GATE
—	EXISTING SANITARY SEWER	—	6'-0" HT. HARDIE BOARD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING STORM	—	EXISTING RETAINING WALL REFER TO CIVIL PLANS TYP.
—	EXISTING CURB INLET	—	6'-0" BENCH
—	RIGHT-OF-WAY	—	TRASH RECEPTACLE
LP	LIGHT POLE	—	PROPOSED CONTOUR INTERVAL
— 544 —	EXISTING CONTOUR INTERVAL	—	PROPOSED 42" HT. ORNAMENTAL METAL HANDRAIL AT OP RETAINING WALL
FFE 544.15	FINISHED FLOOR ELEVATION		

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, ___.

WITNESS OUR HANDS, this ___ day of ___, ___.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
◊	1.5"	1.5"	X		6"
◊	1"	1"		X	

SITE INFORMATION

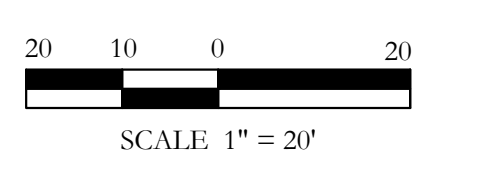
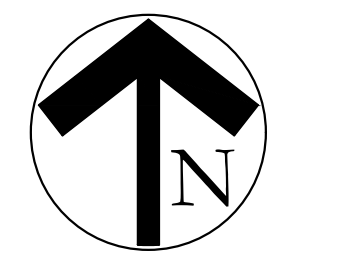
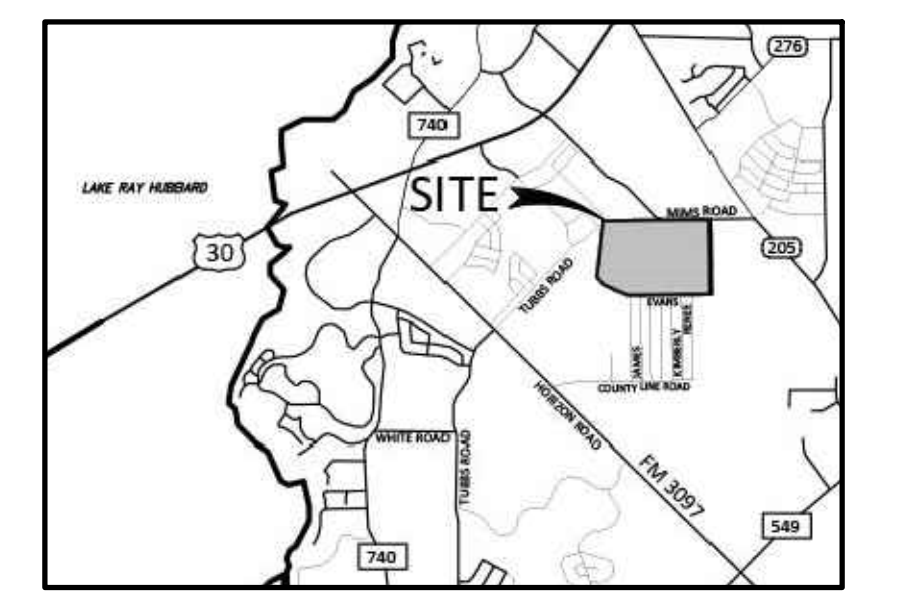
SINGLE FAMILY RESIDENTIAL
PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA: 1.06 ACRES / 46,211.00 SQ. FT.

BUILDING AREA: 792.00 SQUARE FEET
BUILDING HEIGHT: 20'-3" (1 STORY)

FLOOR TO AREA: 0.0173 [792/46,211]
LOT COVERAGE: 1.71%

TOTAL IMPERVIOUS SURFACE: 15,147.08 SF
PROPOSED IMPERVIOUS RATIO: 0.3277 OR 32.77%
INTERIOR LANDSCAPE PROVIDED: 31,063.92 SF

POOL DECK SURFACE: 4,884.00 SF



**SITE PLAN
PEACHTREE MEADOWS
PHASE I
LOT 12, BLOCK L
~AMENITY CENTER~**

1.06 ACRES SITUATED IN THE
G. WELLS SURVEY,
ABSTRACT NO. 219 AND
J.R. JOHNSTON SURVEY, ABSTRACT NO. 128
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- SITE PLAN NOTES:**
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
 - FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
 - ALL PARKING ON SITE IS EXISTING.
 - THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
 - THE POOL EQUIPMENT FENCING SHALL BE 6'-0" HT. BOARD ON BOARD HARDIE BOARD FENCE.
 - ALL SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.



OWNER / DEVELOPER:
QUALICO DEVELOPMENT (U.S.), INC
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070
CONTACT: KYLE TRESSLER

LANDSCAPE ARCHITECT/CIVIL ENGINEER:
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI

August 16, 2024

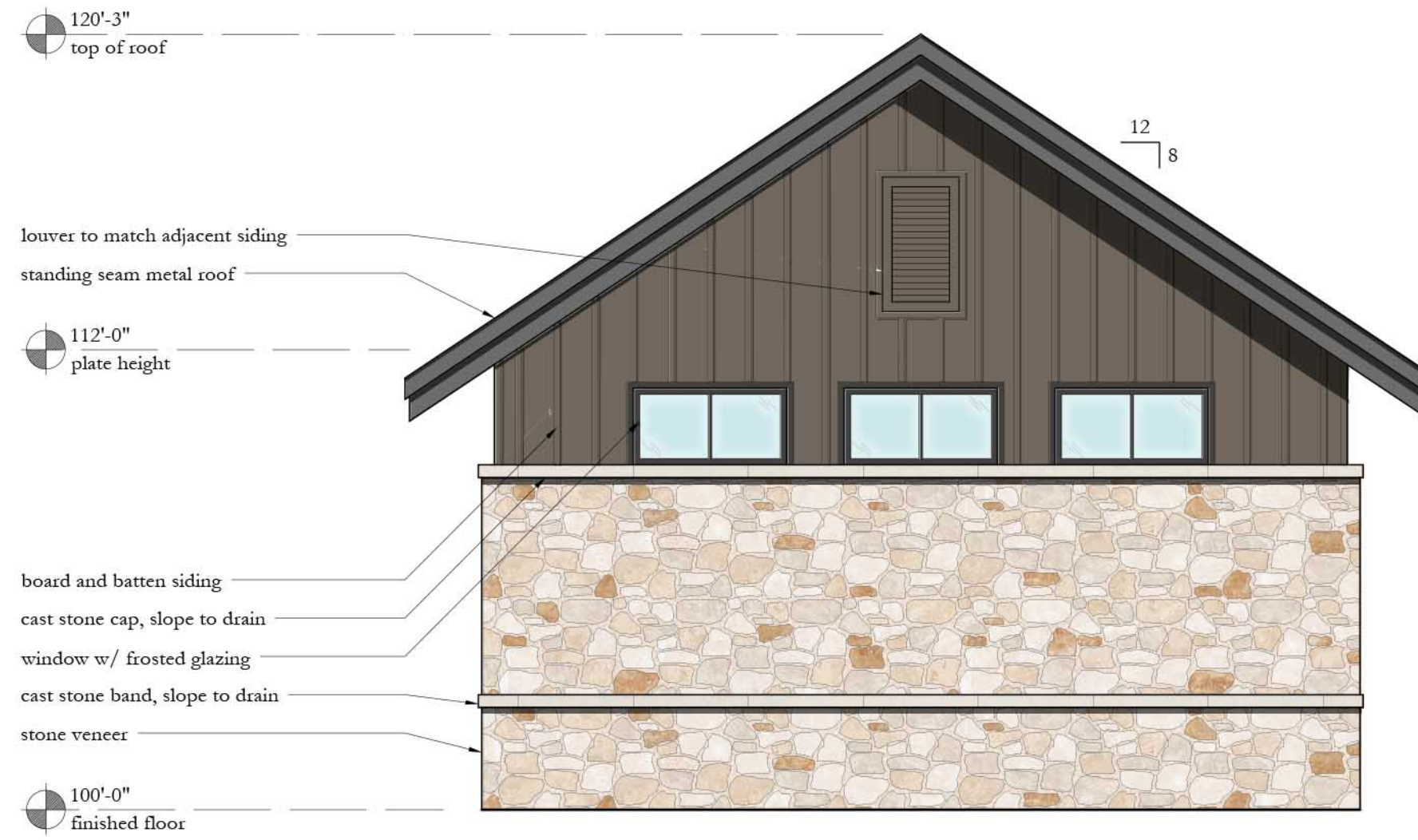
CITY CASE NUMBER TBD PEACHTREE MEADOWS AMENITY CENTER

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

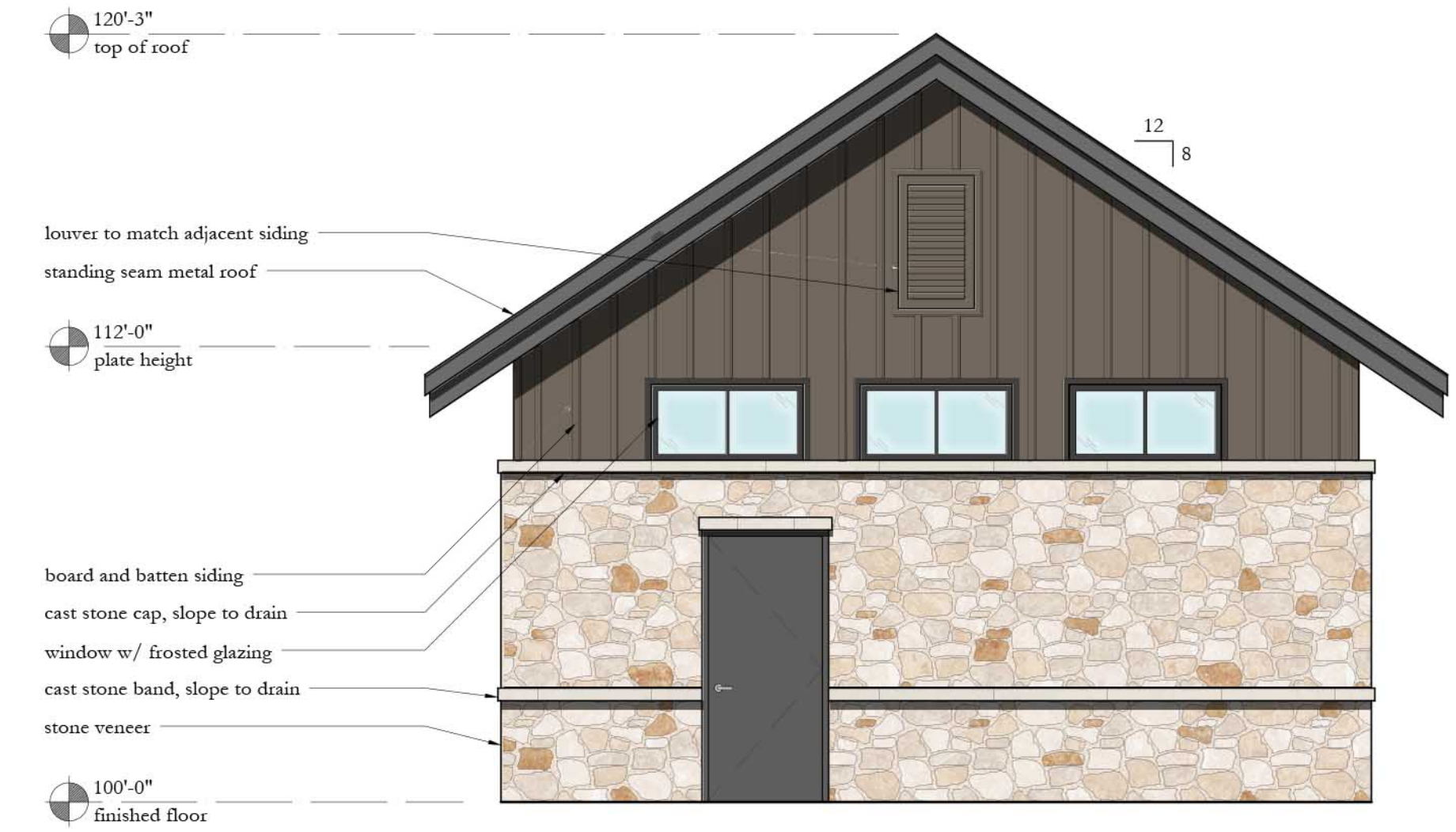
Planning & Zoning Commission, Chairman

Director of Planning and Zoning



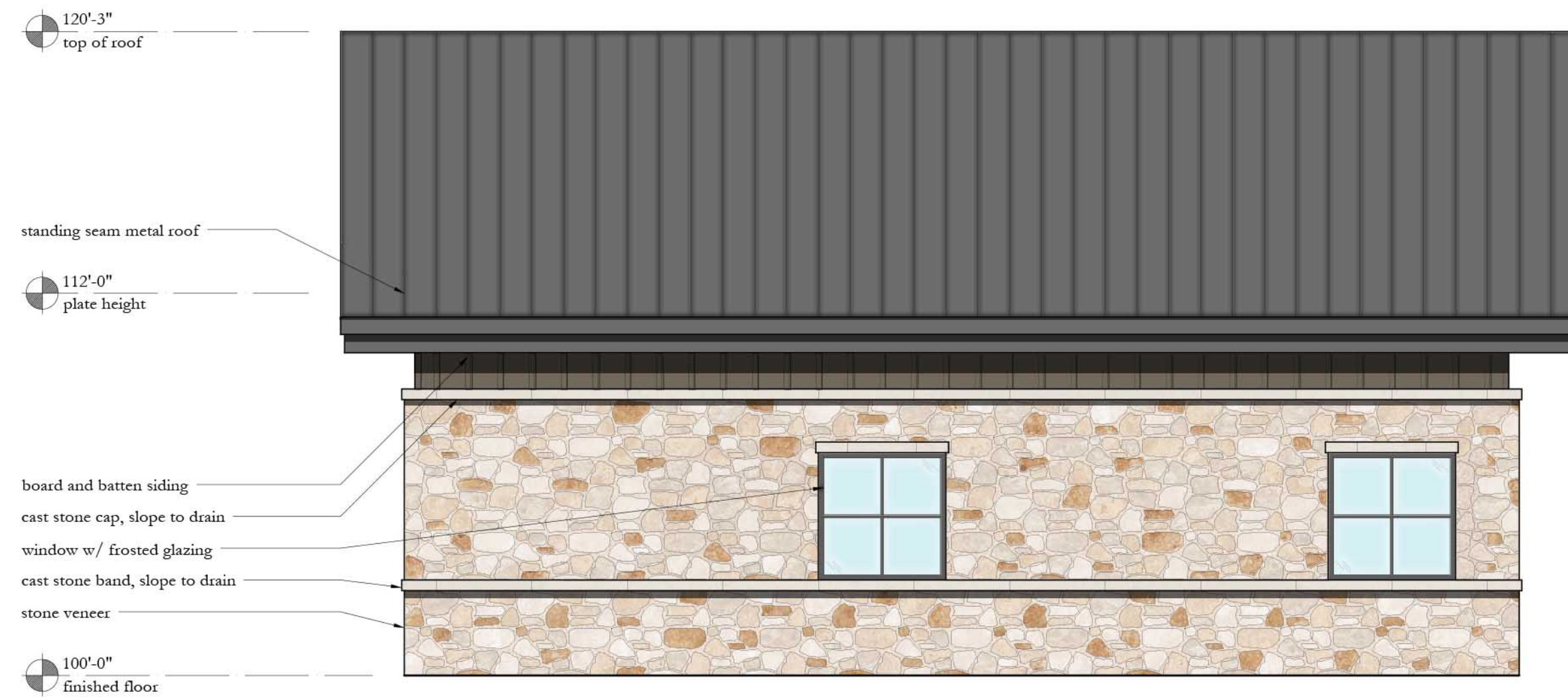
5 WEST ELEVATION ELEVATION

SCALE: 1/4"=1'-0"



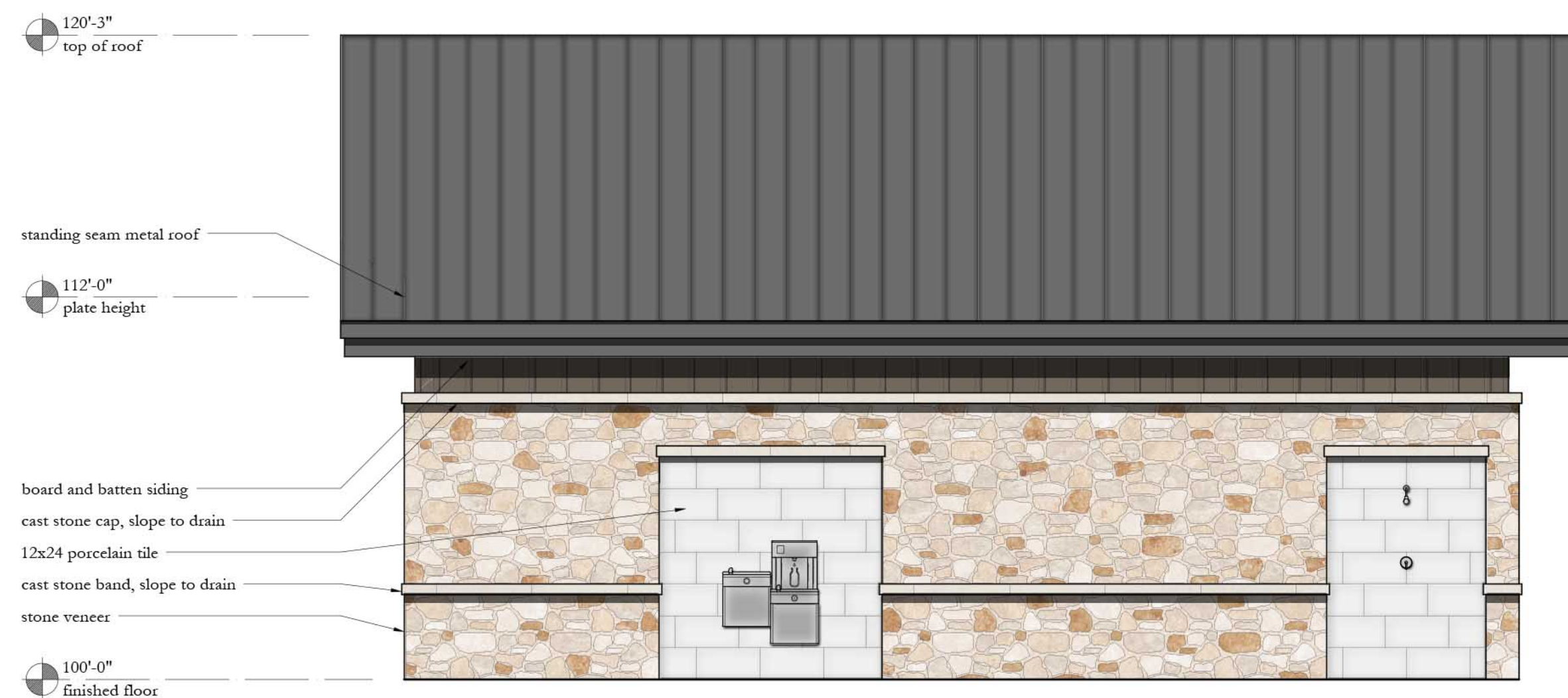
4 EAST ELEVATION ELEVATION

SCALE: 1/4"=1'-0"



3 NORTH ELEVATION ELEVATION

SCALE: 1/4"=1'-0"



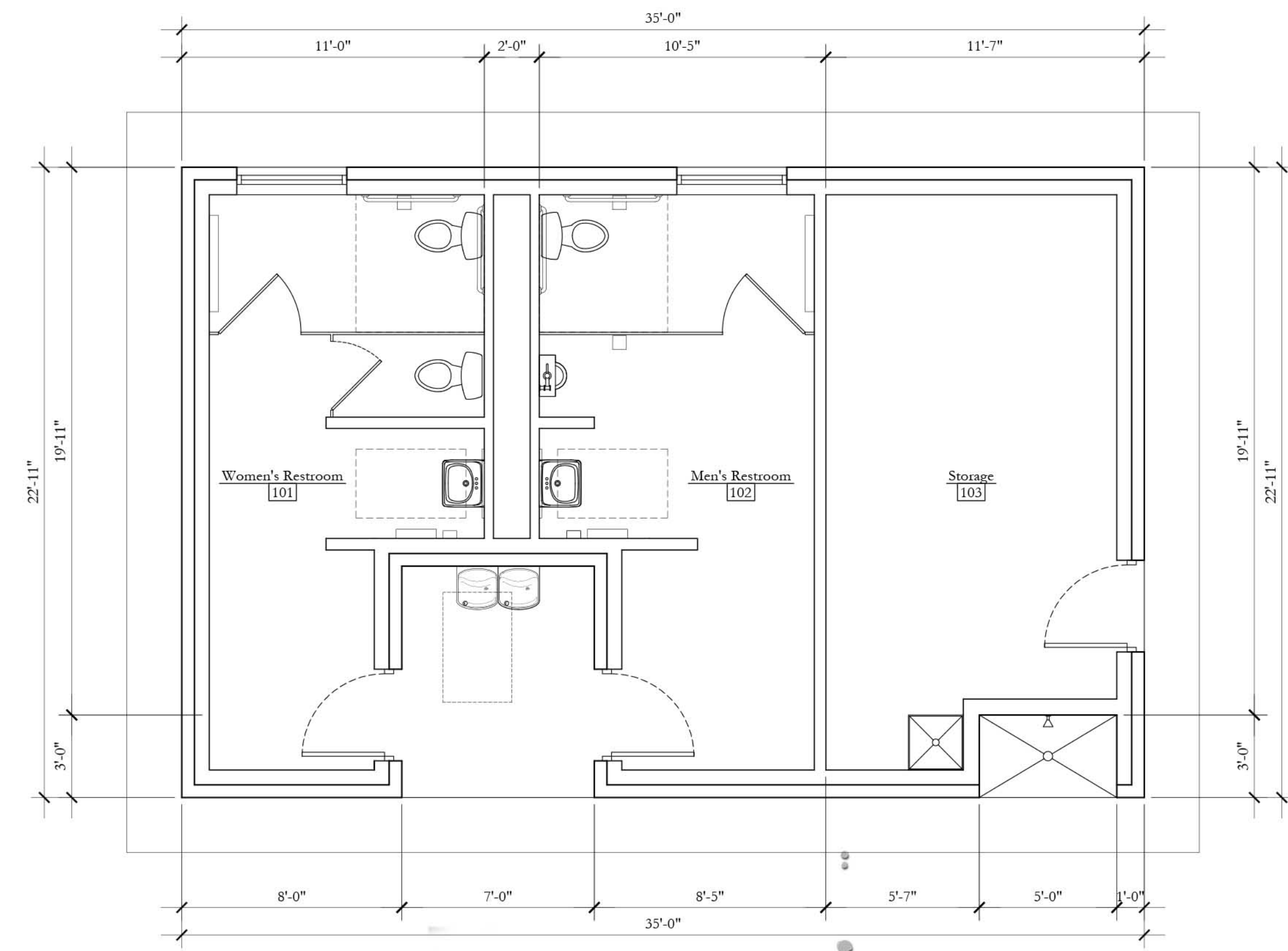
2 SOUTH ELEVATION ELEVATION

SCALE: 1/4"=1'-0"

BUILDING MATERIAL CALCULATIONS

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	354 S.F.	-	354 S.F.	-	347 S.F.	-	347 S.F.	-
PRIMARY MATERIAL TOTALS	322 S.F.	100.00%	270 S.F.	76.27%	292 S.F.	100.00%	316 S.F.	100%
STONE VENEER	257 S.F.	79.81%	207 S.F.	58.47%	167 S.F.	57.19%	191 S.F.	60.44%
CAST STONE	26 S.F.	8.08%	24 S.F.	6.78%	15 S.F.	5.14%	15 S.F.	4.75%
BOARD AND BATTEN FIBER CEMENT SIDING	39 S.F.	12.11%	39 S.F.	11.02%	110 S.F.	37.67%	110 S.F.	34.81%
SECONDARY MATERIALS	-	-	-	-	-	-	-	-
TILE AT SHOWER/DRINKING FOUNTAINS	-	-	84 S.F.	23.73%	-	-	-	-
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	32 S.F.	-	-	-	55 S.F.	-	31 S.F.	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-

NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS



1 FLOOR PLAN PLAN

SCALE: 1/4"=1'-0"

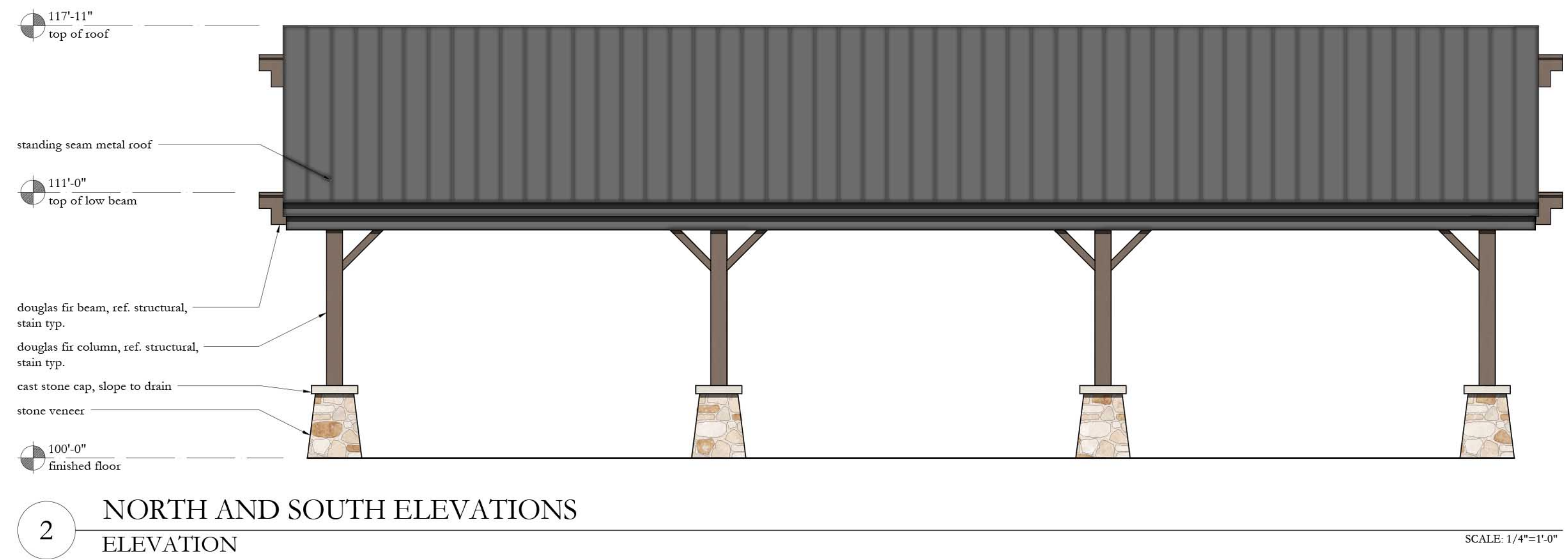
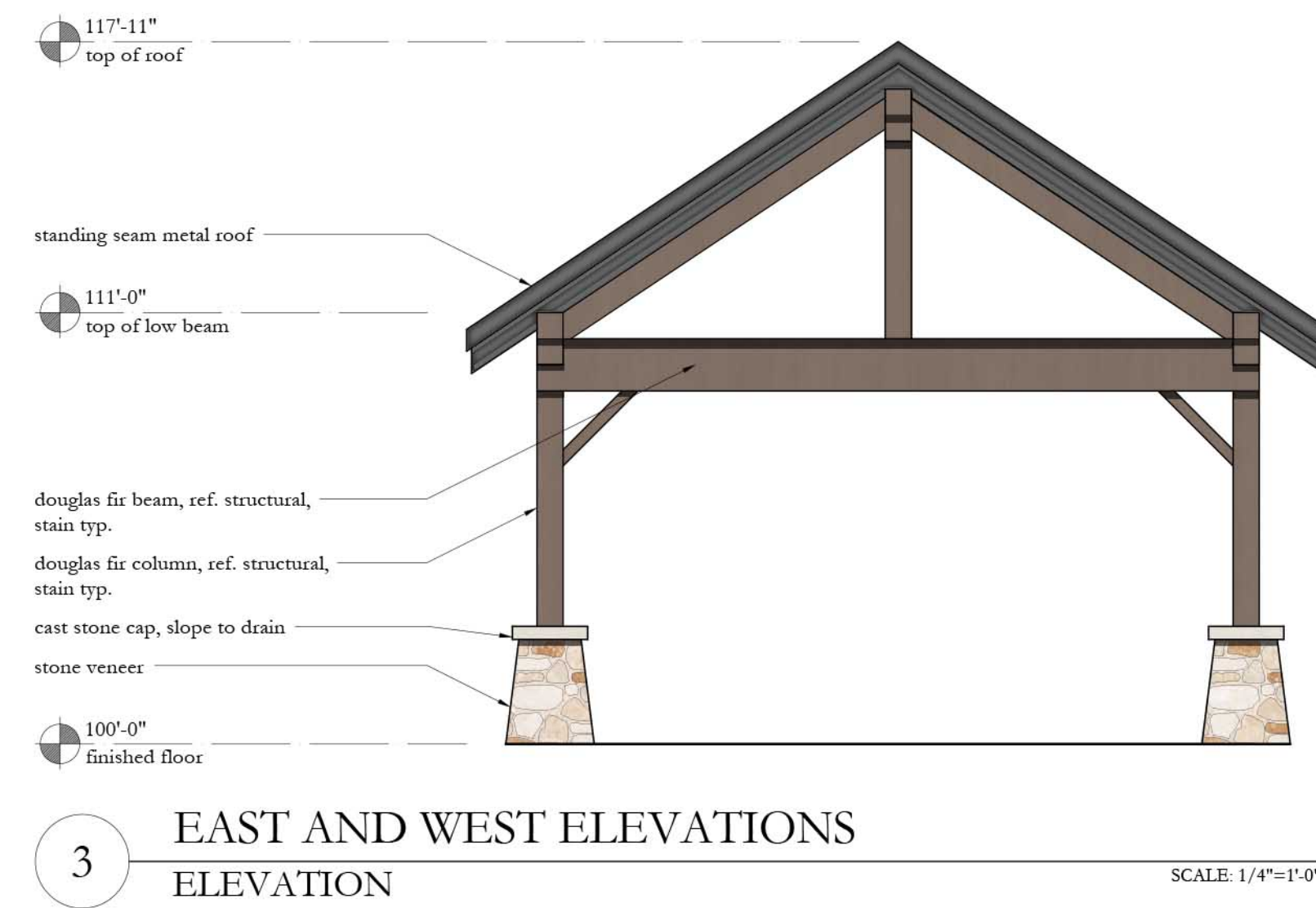
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WITNESS OUR HANDS, this ___ day of ___, ___.

 Planning & Zoning Commission, Chairman

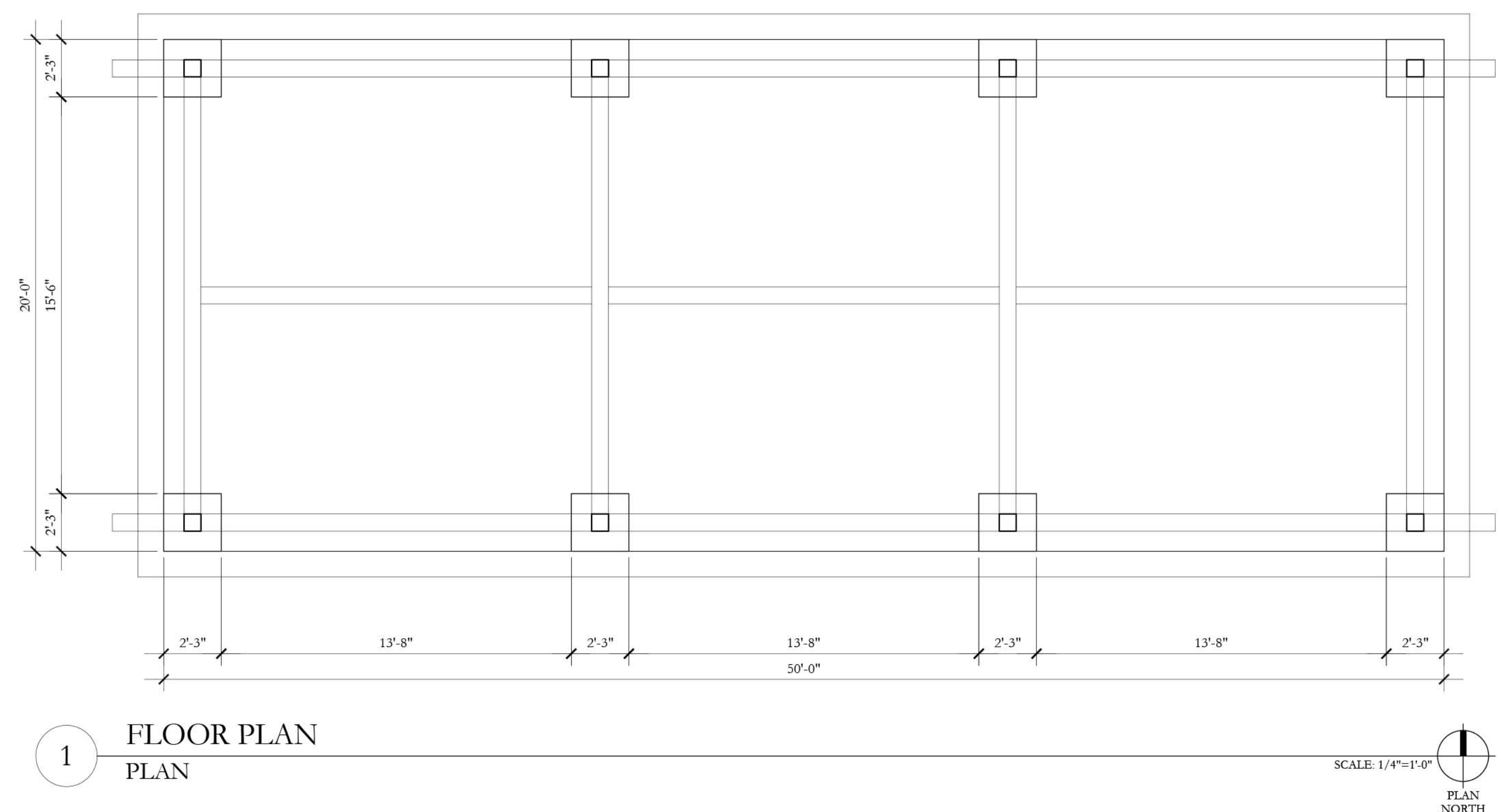
 Director of Planning and Zoning

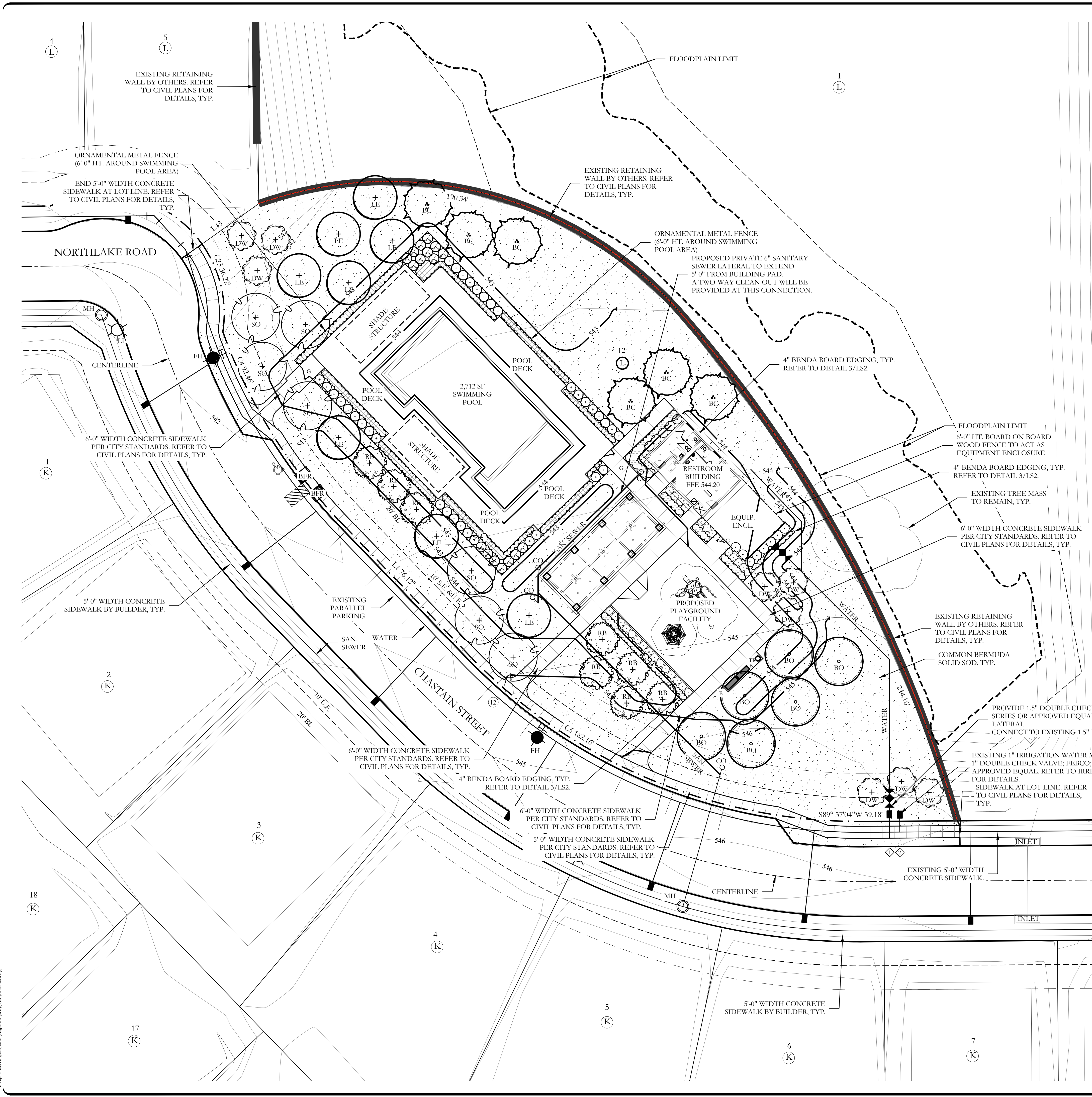


BUILDING MATERIAL CALCULATIONS

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	24 S.F.	-	24 S.F.	-	12 S.F.	-	12 S.F.	-
PRIMARY MATERIAL TOTALS	24 S.F.	100.00%	24 S.F.	100.00%	12 S.F.	100.00%	12 S.F.	100.00%
STONE VENEER	22 S.F.	91.67%	22 S.F.	91.67%	11 S.F.	91.67%	11 S.F.	91.67%
CAST STONE	2 S.F.	8.33%	2 S.F.	8.33%	1 S.F.	8.33%	1 S.F.	8.33%
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-

NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS





PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		EDWARD GOUCHER ABELIA	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	7 GALLON	48" O.C.
		PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSE 'PURPLE DIAMOND'	7 GALLON	48" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

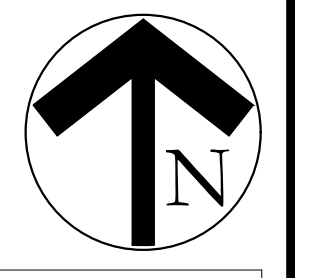
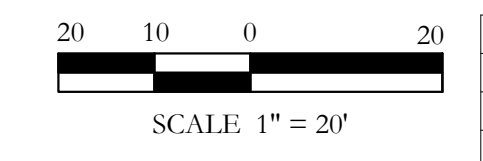
SITE INFORMATION	
SINGLE FAMILY RESIDENTIAL	PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA:	1.06 ACRES 46,211.00 SQ. FT.
BUILDING AREA:	792.00 SQUARE FEET
BUILDING HEIGHT:	20'-3" (1 STORY)
FLOOR TO AREA:	0.017:1 [792/46,211]
LOT COVERAGE:	1.71%
TOTAL IMPERVIOUS SURFACE:	15,147.08 SF
PROPOSED IMPERVIOUS RATIO:	0.3277 OR 32.77%
INTERIOR LANDSCAPE PROVIDED:	31,063.92 SF
POOL DECK SURFACE:	4,884.00 SF

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2024.

WITNESS OUR HANDS, this ___ day of ___, 2024.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
SO	7	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	6	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	8	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BC	6	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	9	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	8	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	36	STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	17	EDWARD GOUCHER ABELIA	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	13	PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSE 'PURPLE DIAMOND'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	30	RUSSIAN SAGE	PEROVSKIA ATRIPPLICIFOLIA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	165	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	450	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	28,870	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

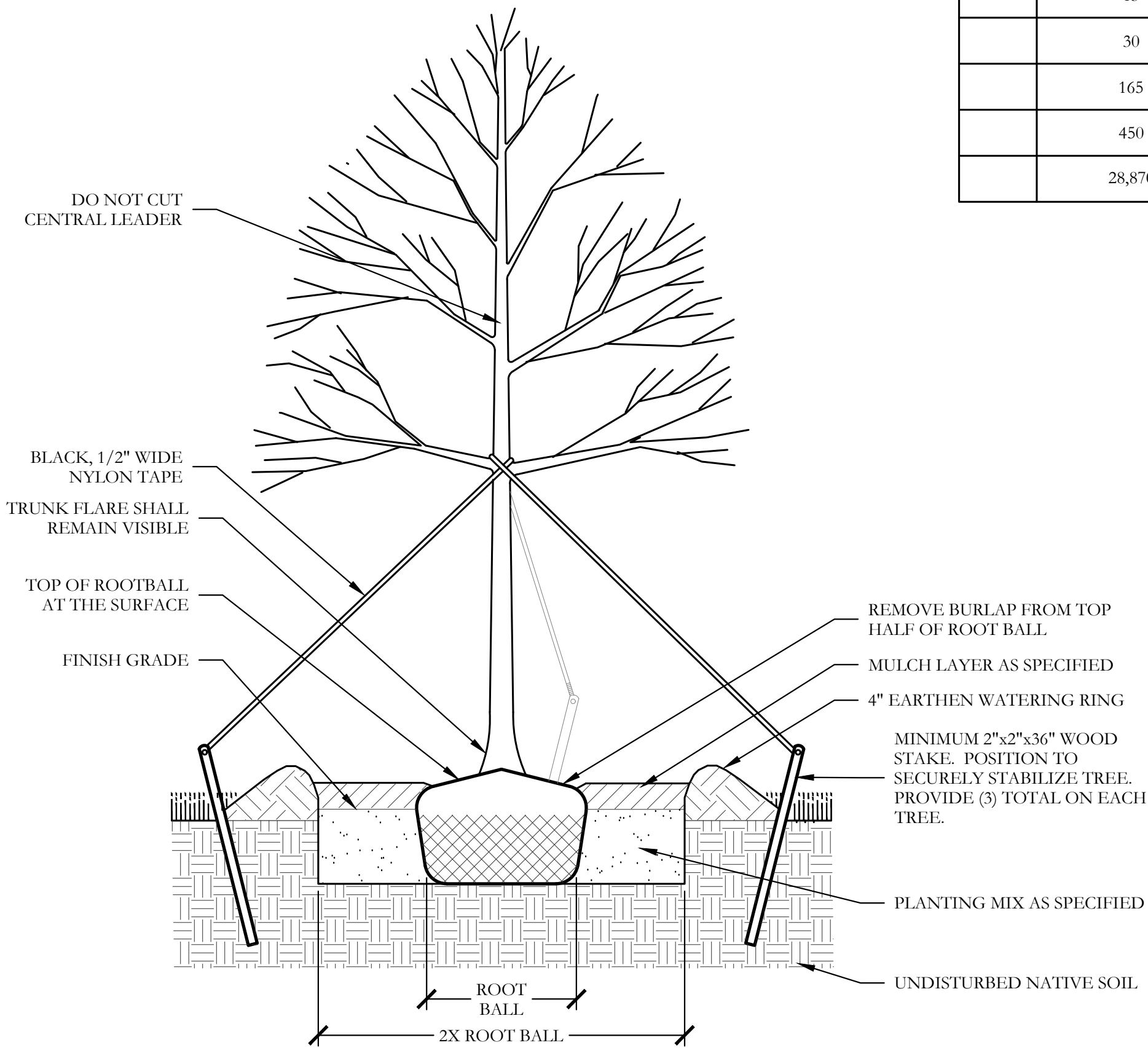
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

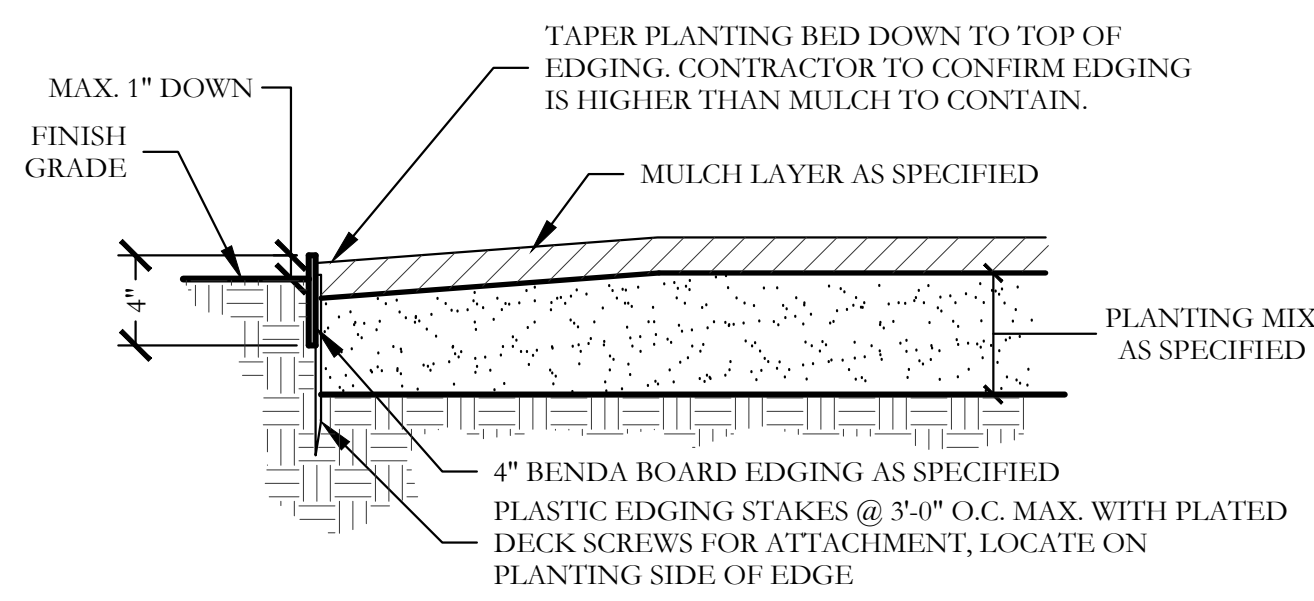
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

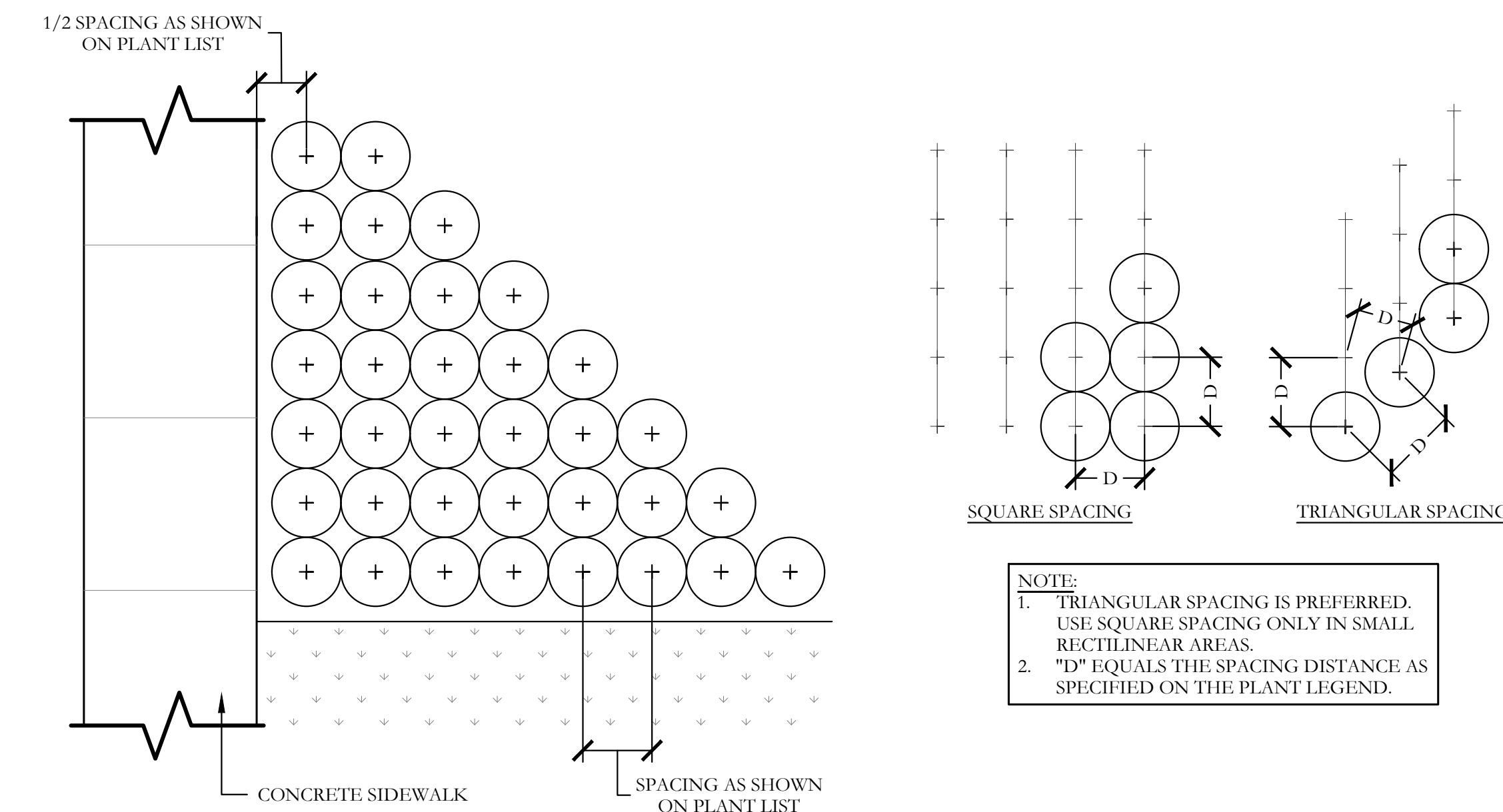
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



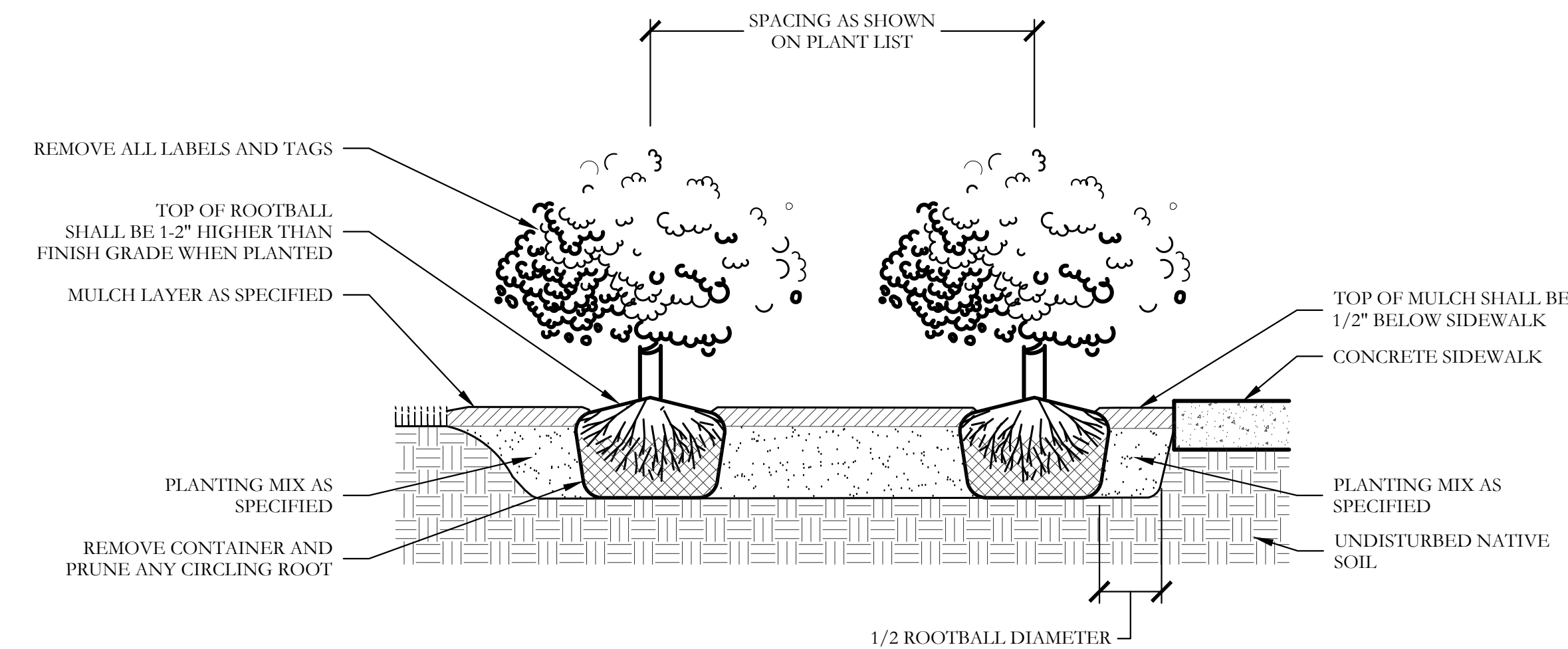
1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



3 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



2 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION NOT TO SCALE



4 TYPICAL SHRUB AND GROUND COVER PLANTING SECTION NOT TO SCALE

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

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WITNESS OUR HANDS, this ___ day of ___, 20__.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



JOHNSON VOLK CONSULTING

704 Central Parkway East | Suite 1200 | Plano, Texas 75074 | 972.201.3100

Planning and Zoning Department
City of Rockwall – Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

August 16, 2024

Tree Survey Affidavit

Peachtree Meadows, Amenity Center
City of Rockwall, Rockwall County, Texas

To Whom it May Concern,

After an extensive field investigation and tree inventory, we have determined that no protected trees exist on site for this development. Because of this, we have not prepared tree survey plans, checklists, and applicable plans for tree survey, mitigation, and/or tree preservation per the City of Rockwall Ordinance.

If you have any questions or concerns, please let me know.

Sincerely,

Cody Johnson, RLA, ASLA, LI
Johnson Volk Consulting
704 Central Parkway East
Suite 1200
Plano, Texas 75074

ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 515 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 10.1. PICKETS, 3/4" SQUARE 16 GA.
 - 10.2. RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
 - 10.3. POSTS, 2" SQUARE 11 GA.
 - 10.4. POSTS, 3" SQUARE 11 GA.
11. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
12. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C AND A MAXIMUM DISTANCE OF 8'-0" O.C.
13. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, ____.

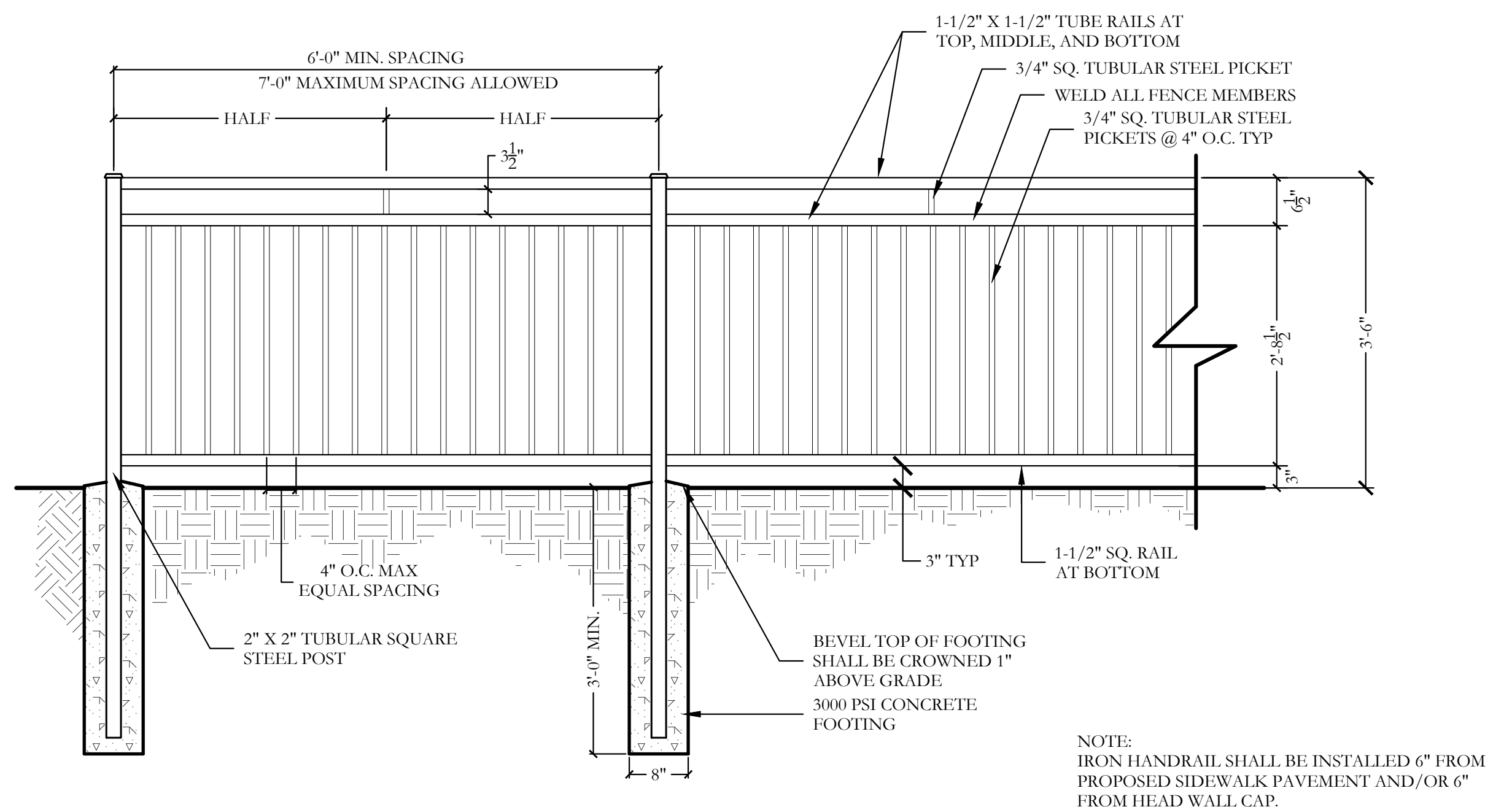
WITNESS OUR HANDS, this ___ day of ___, ____.

 Planning & Zoning Commission, Chairman

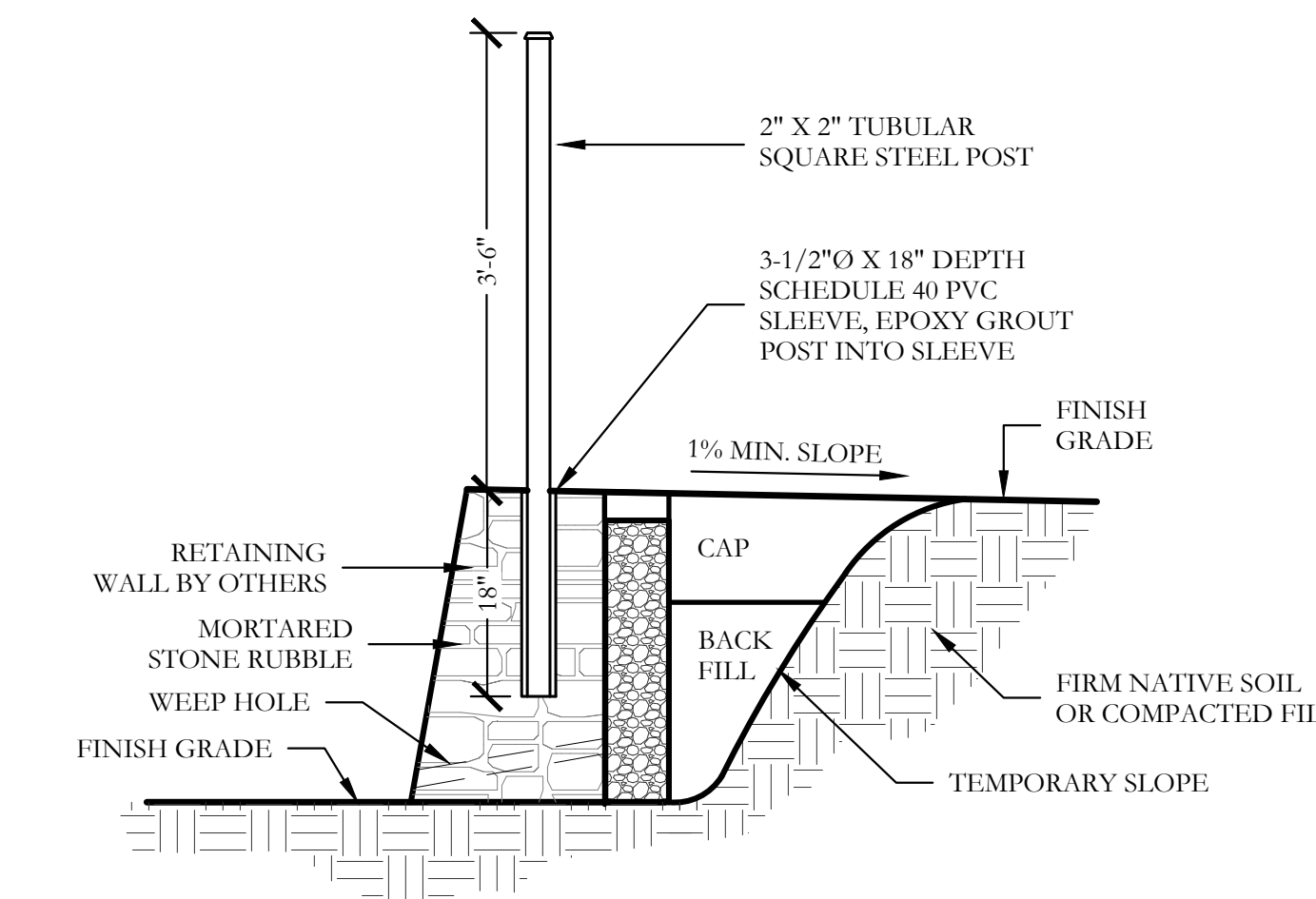
 Director of Planning and Zoning

PERMITTED BY BUILDING INSPECTORS.

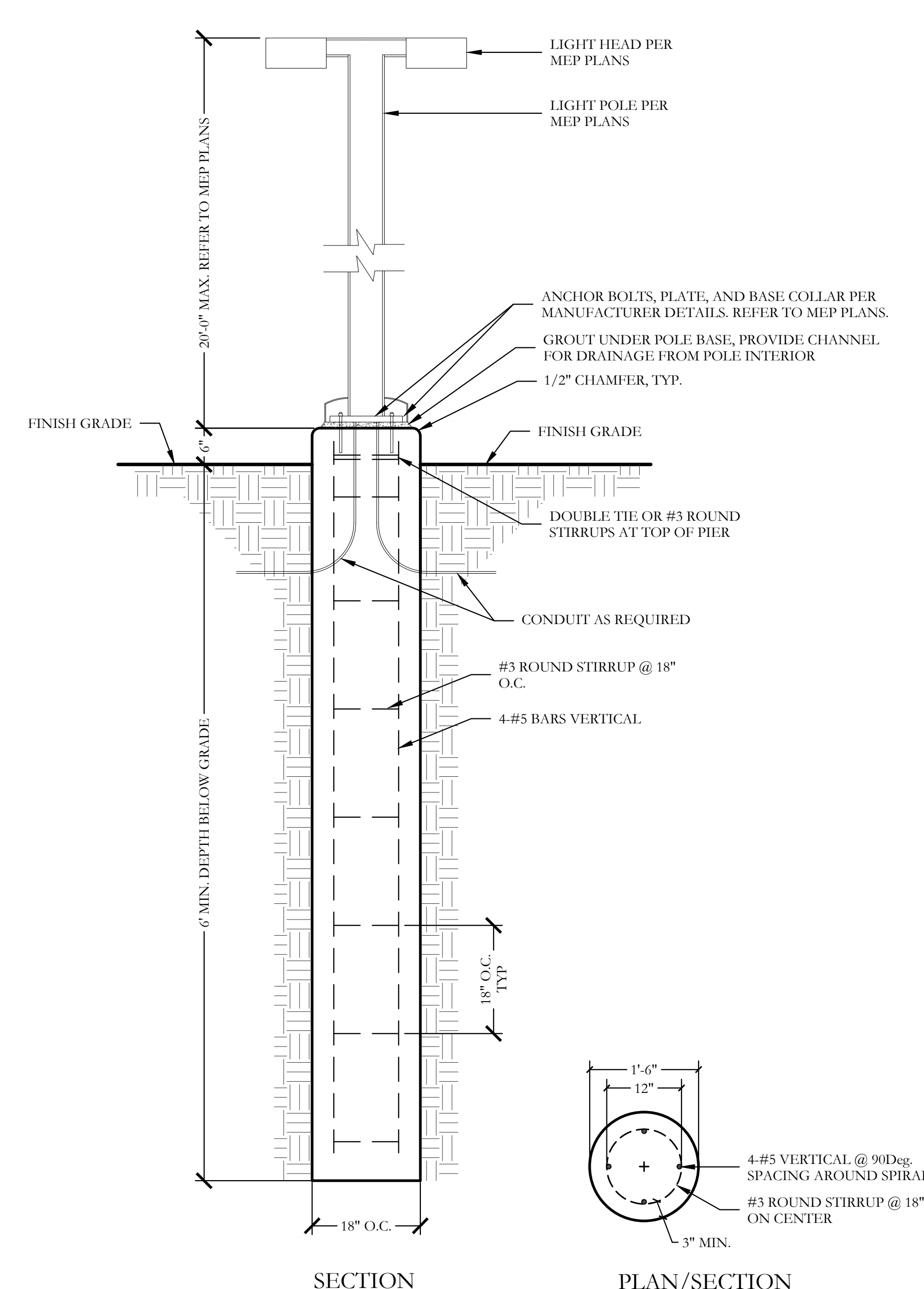
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



1 42" HT. ORNAMENTAL METAL HANDRAIL ELEVATION SCALE: 3/4"=1'-0"

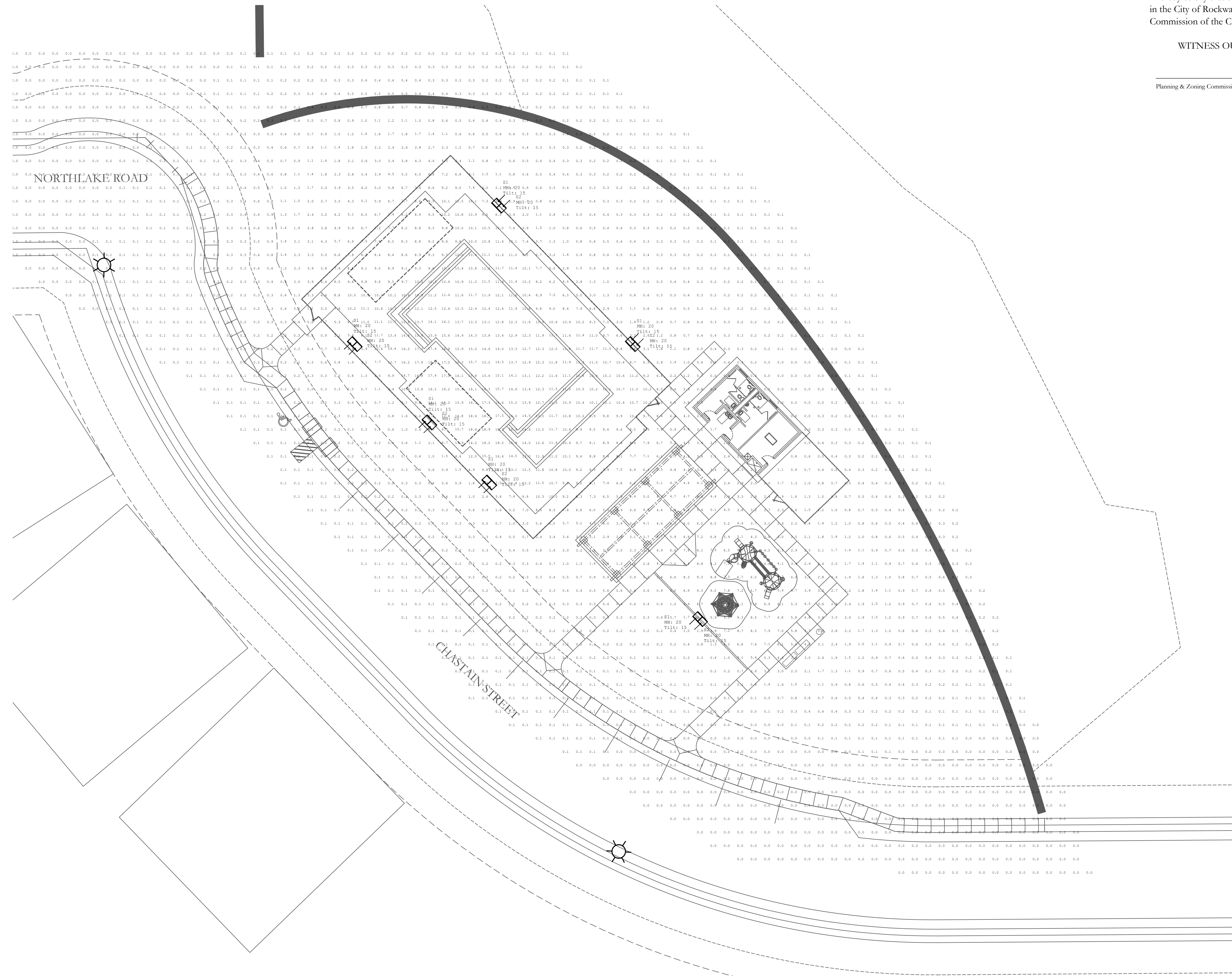


2 42" HT. ORNAMENTAL METAL HANDRAIL ON TOP RETAINING WALL SECTION SCALE: 3/4"=1'-0"



3 LIGHT POLE WITHIN POOL AREA PLAN/SECTION SCALE: 3/4"=1'-0"

E:\s-a\drive\projects\mpj008\dwg\mpj008-08.dwg



1 SITE PLAN - PHOTOMETRICS
SCALE: 1" = 20'-0"

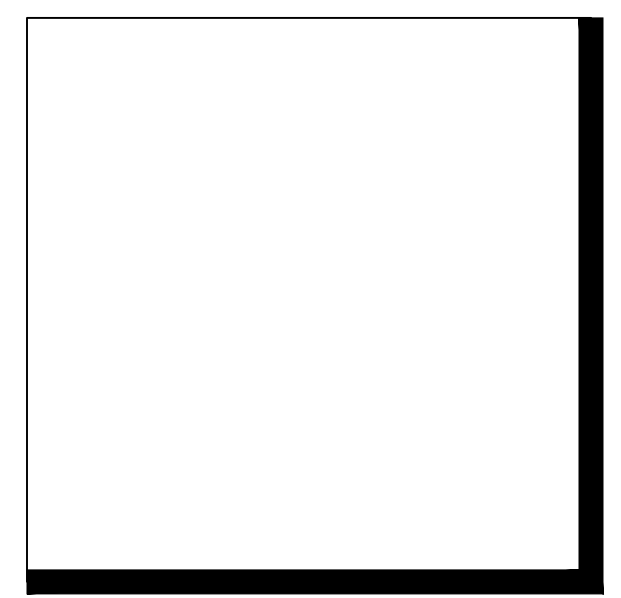
Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height
☐	6	S1	Single	MRS-LED-24L-SIL-FT-40-70CRI-IL	PAIRED W/ S2	0.900	15300	196	1176	20
☐	6	S2	Single	MRS-LED-24L-SIL-FT-40-70CRI-IL	PAIRED W/ S1	0.900	15300	196	1176	20

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WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



**PEACHTREE MEADOWS -
AMENITY CENTER
ROCKWALL, TEXAS**

Issue: XX-XX-XXXX
Revisions:

Drawing Title:
**PHOTOMETRICS -
SITE PLAN**

CONTRACTOR SHALL COORDINATE
MEP DRAWINGS WITH ALL OTHER
DISCIPLINES

Sheet
E1.02

AOS JOB #: 4444-001-24

Mirada Small Area Light (MRS)

Have questions? Call us at (800) 436-7800

Type: _____

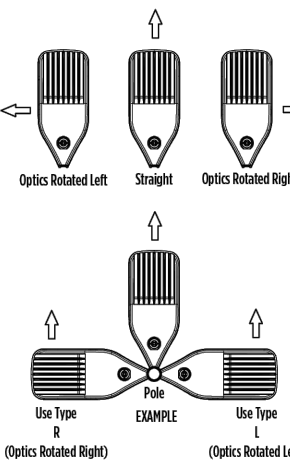
ACCESSORIES

Back to Quick Links

Category	Mounting Accessories	Shielding, Poles & Misc. Accessories
Ceiling	Universal Mounting Bracket Mounts into 1" square or round (square/round) poles with (2) mounting hole spaces between 1.5" to 5" Part Number: SMA UM0 CLR	Integral Louver Field install Integral Louver provides maximum backlight control by shielding each individual row of LEDs Part Number: IS54S
	Half Mount Plate Use one person installation to existing/new construction poles with hole spaces between 2.4 to 4.1" Part Number: HRS PDM B3S-XX CLR	Integral Half Louver Field install Integral Half Louver provides great backlight control without impacting front side distribution. Part Number: IS54H
Down Ceiling	1/2 Pin Deck Mount Plate Use one person installation to existing/new construction poles with hole spaces between 2.4 to 4.1" Part Number: HRS PDS B3S-XX CLR	External Shield General shield blocks view of light source from any side of luminaires, additional shielding configurations available Part Number: IS6520BLK (P) / IS6530BLK (P)*
	Adjustable Spherulite Mounts into 2" (50mm) Ø, 2.35" (59mm) I.D. bore and provides 180° of tilt (max 45° above horizontal) Part Number: SMA AS1 CLR	Square Pole 16 - 36" steel and aluminum poles in 4", 5", and 6" sizes for retrofit and new construction Part Number: 650/550/650
Square Pole	Square Sensor Top Mounts onto 2" (50mm) Ø, 2.35" (59mm) I.D. bore and allows for mounting up to 4 luminaires Part Number: SMA STM*	Round Pole 16 - 36" steel and aluminum poles in 4" and 5" sizes for retrofit and new construction Part Number: 489/520
	Square Internal Shelf/Flange Mounts inside 4" to 5" square pole and allows for mounting up to 4 luminaires Part Number: SMA ISF* CLR	Tapered Pole 20 - 35" steel and aluminum poles for retrofit and new construction Part Number: 81P
Wall Mount	Wall Mount Bracket Mounts onto vertical wall surface (hardware/anchors not included) Part Number: HRS WM CLR	Best Splices UL Listed Best Splice Kit, 4 recommended per luminaire, includes splice adhesive and application tool Part Number: 76075
	Wood Pole Bracket Mounts onto wooden poles (5" minimum I.D., hardware/anchors not included) Part Number: HRS WP CLR	

OPTICS ROTATION

Top View



ACCESSORIES/OPTIONS

Integral Louver (IL) and House-Side Shield (HS)
Integral Louver (IL) and half louver (HL) accessory shields available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (IL) and Integral House-Side Shield (HS) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate with the optical distribution.

Luminaire Shown with Integral Louver (IL)



Luminaire Shown with CR7P

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocell/control or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Mirada Small Area Light (MRS)

Have questions? Call us at (800) 436-7800

Type: _____

ORDERING GUIDE

Back to Quick Links

TYPICAL ORDER EXAMPLE: MRS LED 4L SIL FT 1 UNV DIM AMT ALBSCX BLK IH

Prefix	Light Source	Lumen Package	Lens	Distribution	Orientation*	Voltage	Driver
MRS - Mirada Small Area Light	LED	ZL - 2,000 lms 4L - 4,000 lms Custom Lumen Packages!	SIL - Silicone	2 - Type 2 S - Type 3 SW - Type 5 Wide FT - Forward Throw	(Blank) - Standard L - Optics rotated left 90° R - Optics rotated right 90°	UNV - Universal Voltage (120-277V) HW - High Voltage (541-680V)	DM - 0-10V Dimming (0-10V)

Color Temp	Controls (Choose One)	Finish	Options
AMT - Narrow Band Amber	(Blank) - None Wireless Controls System ALSC - AirLink Symapex Control System ALSCSX - AirLink Symapex Control System with 12-327 MHz Motion Sensor ALSCSX4 - AirLink Symapex Control System with 20-407 MHz Motion Sensor ALSCSX5 - AirLink Blue Wireless Motion & Photo Sensor Controller (5-24 MHz) ALSCSX7 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40 MHz) Stand-Alone Controls EXT - 0-10V dimming leads extended to housing exterior CR7P - 7 Pin Control Receptacle (ANSI C136.41) MSBT1 - Integral Bluetooth™ Motion and Photocell Sensor (0-24 MHz) MSBT12 - Integral Bluetooth™ Motion and Photocell Sensor (25-40 MHz)	BLK - Black BRZ - Dark Bronze GRY - Gun Metal Gray OPF - Opalite MSV - Metallic Silver PLP - Platinum Plus SWG - Satin Verde Green WHT - White	(Blank) - None IH - Integral Half Louver (Moderate Spill Light Control) IL - Integral Louver (Sharp Spill Light Control)



Need more information?
Click here for our glossary

Have additional questions?
Call us at (800) 436-7800

Accessory Ordering Information*

CONTROLS ACCESSORIES	Order Number	SHIELDING OPTIONS	Order Number
Twist Lock Photocell (120V) for use with CR7P	12254	Mirada Small	
Twist Lock Photocell (208-277) for use with CR7P	12255	Mirada Medium	
Twist Lock Photocell (547V) for use with CR7P	12256	Mirada Large	See Shielding Guide
Twist Lock Photocell (480V) for use with CR7P	12258	Zone Medium	
AirLink 5 Pin Twist Lock Controller	66149	Zone Large	
AirLink 7 Pin Twist Lock Controller	66140	Size Medium	
Shorting Cap for use with CR7P	14928		

*Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DIC listed.

1. Not available on "True 180" distribution.

2. Control device or shorting cap must be ordered separately. See Accessory Ordering Information.

3. MSBT is field configurable via the iOS app that can be downloaded from your smartphone's native app store.

4. Accessories are shipped separately and field-installed.

5. "UL" denotes finish. See finish options.



Catalog #: _____ Project: _____
Prepared By: _____ Date: _____

Mirada Small Area (MRS)

Turtle Friendly LED Area Light



OVERVIEW	
Lumen Package	2,000 - 4,000
Wattage Range	36 - 93
Efficacy Range (LPW)	39 - 73
Fixture Weight lbs (kg)	20 (9.1)

QUICK LINKS

Ordering Guide	Performance	Photometrics	Dimensions
----------------	-------------	--------------	------------

FEATURES & SPECIFICATIONS

- Construction**
 - Rugged die-cast aluminum housing contains factory wired driver and optical unit. Cast aluminum wiring access door located underneath.
 - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
 - Shipping weight: 27 lbs in carton.
- Optical System**
 - State-of-the-art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
 - Proprietary silicone refractor optics provide excellent coverage and uniformity in distribution types 2, 3, 5W, and FT.
 - Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
 - Zero uplift.
- Available in narrow band amber with peak intensity at 596nm.**
- Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.**
- External shielding available for blocking visibility from any side of the luminaire.**

- Electrical**
 - High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
 - 0-10V dimming (10% - 100%) standard.
 - Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (547-680 VAC).
 - Total harmonic distortion: <20%
 - Operating temperature: -40°C to +50°C (-40°F to +112°F).
 - Power factor: > 90
 - Input power stays constant over life.
 - Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

- Power factor:** > 90

- Warranty**
 - LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

- Listings**
 - Listed to UL 1598 and UL 8750.
 - Meets Buy American Act requirements.
 - IDA compliant.
 - Suitable for wet locations.
 - IP66 rated Luminaire per IEC 60598-1.
 - 3G rated for ANSI C136.31 high vibration applications are qualified.
 - IK08 rated luminaire per IEC 66262 mechanical impact code.

- Installation**
 - Designed to mount to square or round

Mirada Small Area Light (MRS)

Have questions? Call us at (800) 436-7800

Type: _____

CONTROLS

Back to Quick Links

Integral Bluetooth™ Motion and Photocell Sensor (IMSBTxL)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is IP66 rated for cold and wet locations (-40°F to 167°F). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

Click here to learn more details about IMSBT.



AirLink Blue (ALBSCx)

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components: Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

Click here to learn more details about AirLink Blue.



Sensor Sequence of Operations

Standard Programming	On Event	Off Event	On Light Level	Dim Light Level	Daylight Harvesting	Delay To Off	Sensitivity
OMSBT/MSBTxL	Motion	No Motion	100%	N/A	On; Auto Calibration	20 minutes	High
ONS	Motion	No Motion	N/A	N/A	N/A	30 seconds	Auto

Operation	Description
On Event	Trigger that activates lights to turn on; either automatic via motion detected or manually activated via push of button.
Off Event	Trigger that activates lights to turn off; either automatic via no motion detected or manually activated via push of button.
On Light Level	The light level that the fixtures will turn on to when ON EVENT occurs.
Dim Light Level	The light level that the fixtures will dim down to when no motion is detected.
Delay to Dim	The amount of time after which no motion is detected that the fixtures will be triggered to dim down. This sequence is optional, and sensor can be programmed to only trigger the fixture to turn off by entering 100% in this field.
Delay to Off	The amount of time after which no motion is detected that the fixtures will be triggered to turn off. If delay to dim is part of the programmed functionality, this is the amount of time after which no motion is detected after the fixture have already dimmed down.
Sensitivity	The sensitivity can be set to high, medium, low, or auto where applicable. High will detect smaller, simple motions. Low will only detect larger more complex motions. Auto temperature calibration adjusts the PIR sensitivity as ambient temperature rises to increase detection of heat movement through the field of view.

APPROVED:

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WITNESS OUR HANDS, this ____ day of _____,

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



Texas Registered Engineering Firm F-50218
5020 Temponay Parkway - Plano, TX 75024
Dallas / Fort Worth 214.432.9030
Houston 832.532.2007

PEACHTREE MEADOWS -
AMENITY CENTER
ROCKWALL, TEXAS

AOS JOB #: 4444-001-24

Issue:	XX-XX-XXXX
Revisions:	

Drawing Title:

ELECTRICAL -
CUTSHEETS

Sheet

E5.01

CONTRACTOR SHALL COORDINATE
MEP DRAWINGS WITH ALL OTHER
DISCIPLINES

1. Lumen maintenance values at 20% are calculated per TM-2 based on TM-09 data and in-situ luminaire testing.
2. In accordance with EISA TM 21-16, Projected Values represent interpolated values based on time duration that are within six times (6X) the EISA TM-09 total test duration (in hours) for the device under testing (DUT) in the packaged LED chip.
3. In accordance with EISA TM 21-16, Calculated Values represent time durations that exceed six times (6X) TM-09 total test duration (in hours) for the device under testing (DUT) in the packaged LED chip.

Steel Poles Square Straight

Have questions? Call us at (800) 456-7800

Type: _____

WIND SPEED

Table with columns: POLE, Hgt. Height Length (ft), Wall Thick (ga), BOLT CIRCLE (Designator, Dia. (in), Anchor Bolt Dia (in)), and WIND SPEED (110 MPH to 180 MPH).

Steel Poles Square Straight

Have questions? Call us at (800) 456-7800

Type: _____

WIND SPEED

Table with columns: POLE, Hgt. Height Length (ft), Wall Thick (ga), BOLT CIRCLE (Designator, Dia. (in), Anchor Bolt Dia (in)), and WIND SPEED (110 MPH to 180 MPH).

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning



Texas Registered Engineering Firm F-5218
5020 Temyson Parkway - Plano, TX 75024
Dallas / Fort Worth 214.432.3030
Houston 832.532.2007

PEACHTREE MEADOWS -
AMENITY CENTER
ROCKWALL, TEXAS

Issue: XX-XX-XXXX

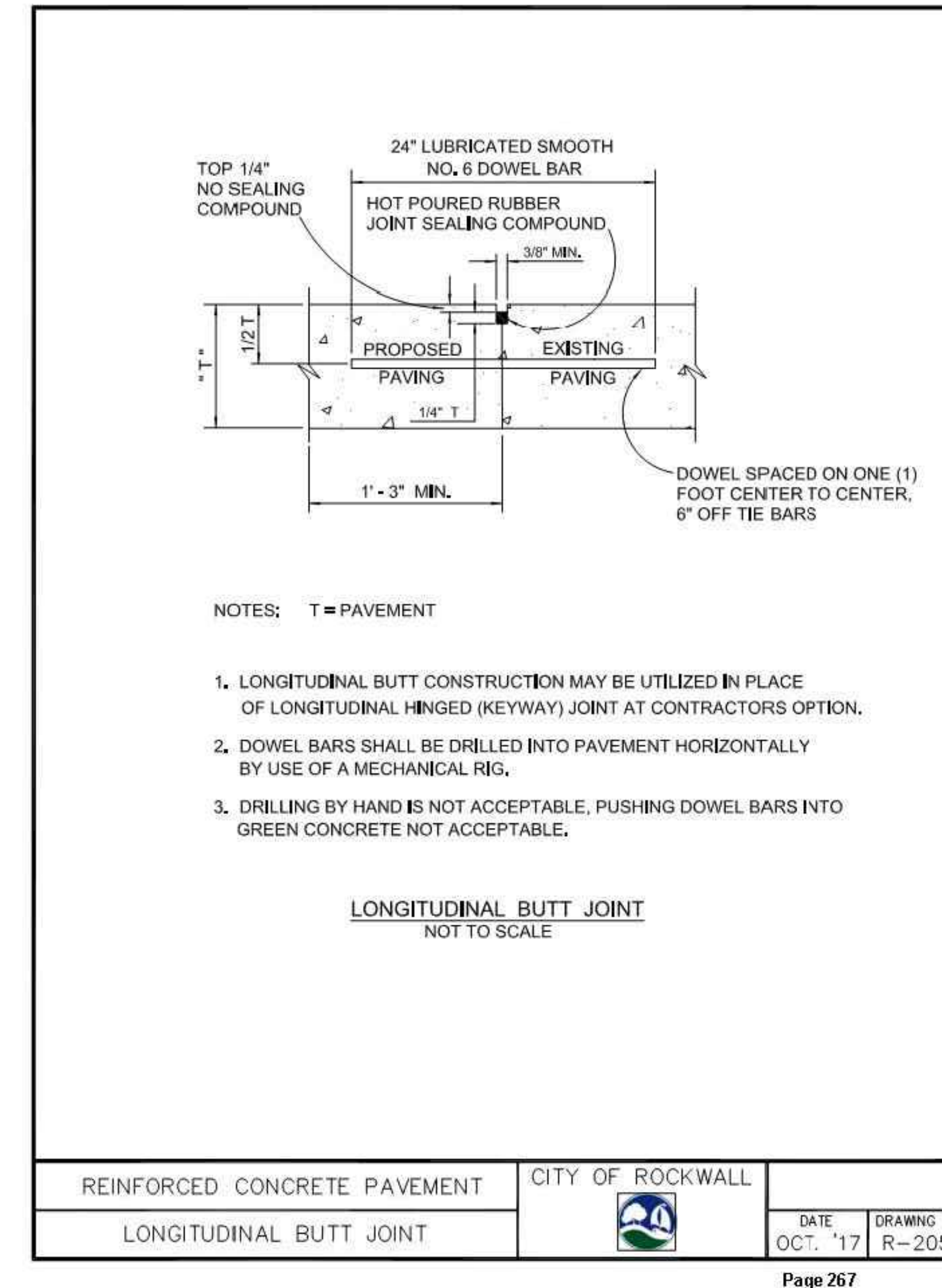
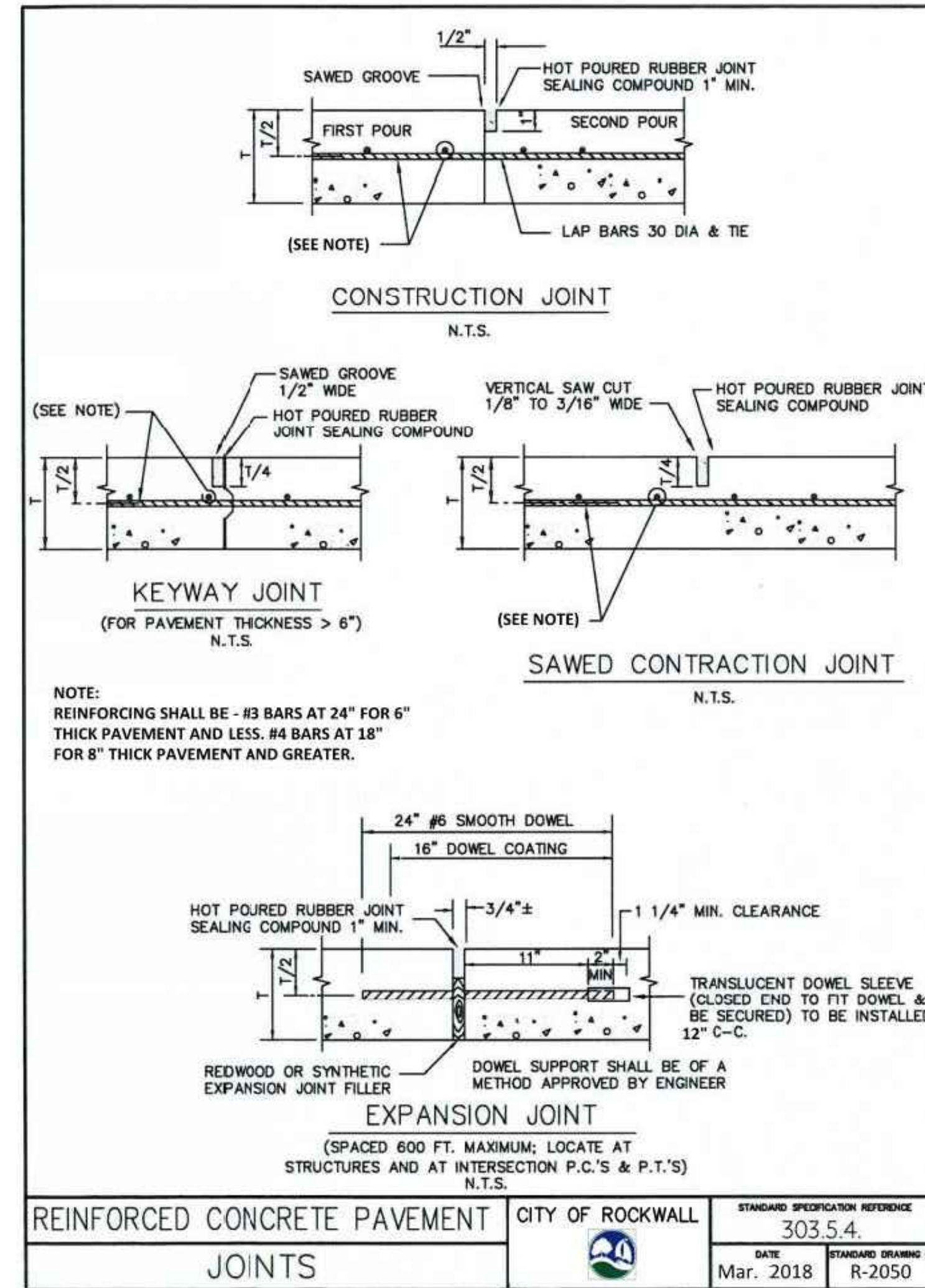
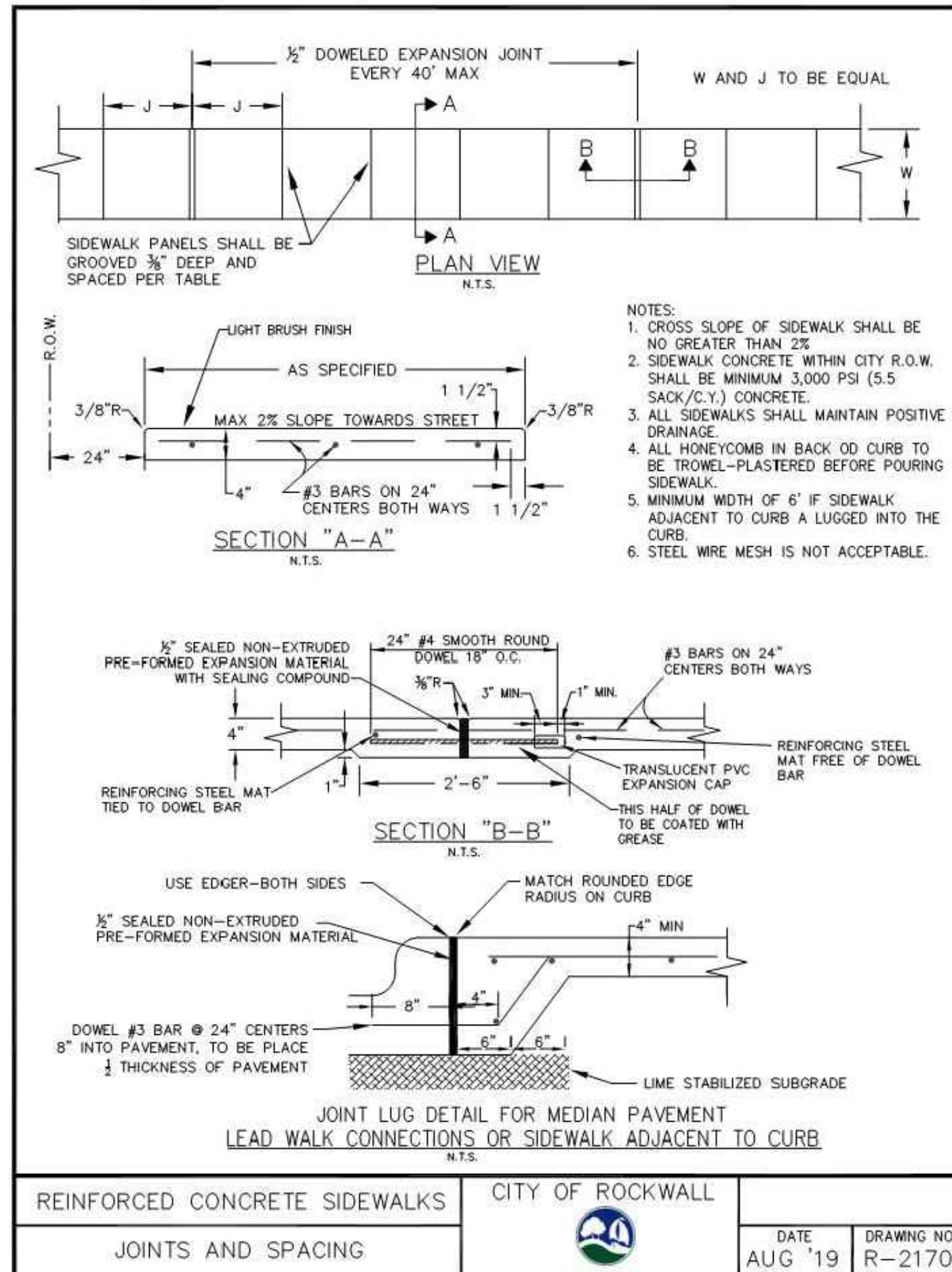
Revisions:

Drawing Title:
ELECTRICAL -
CUTSHEETS

Sheet
E5.03

CONTRACTOR SHALL COORDINATE
MEP DRAWINGS WITH ALL OTHER
DISCIPLINES

AOS JOB #: 4444-001-24

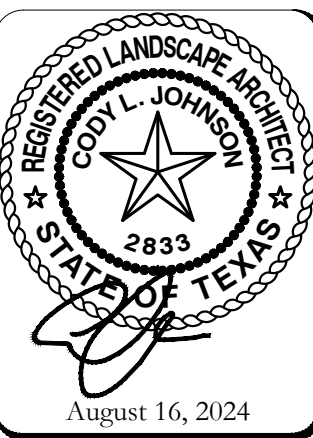


APPROVED:
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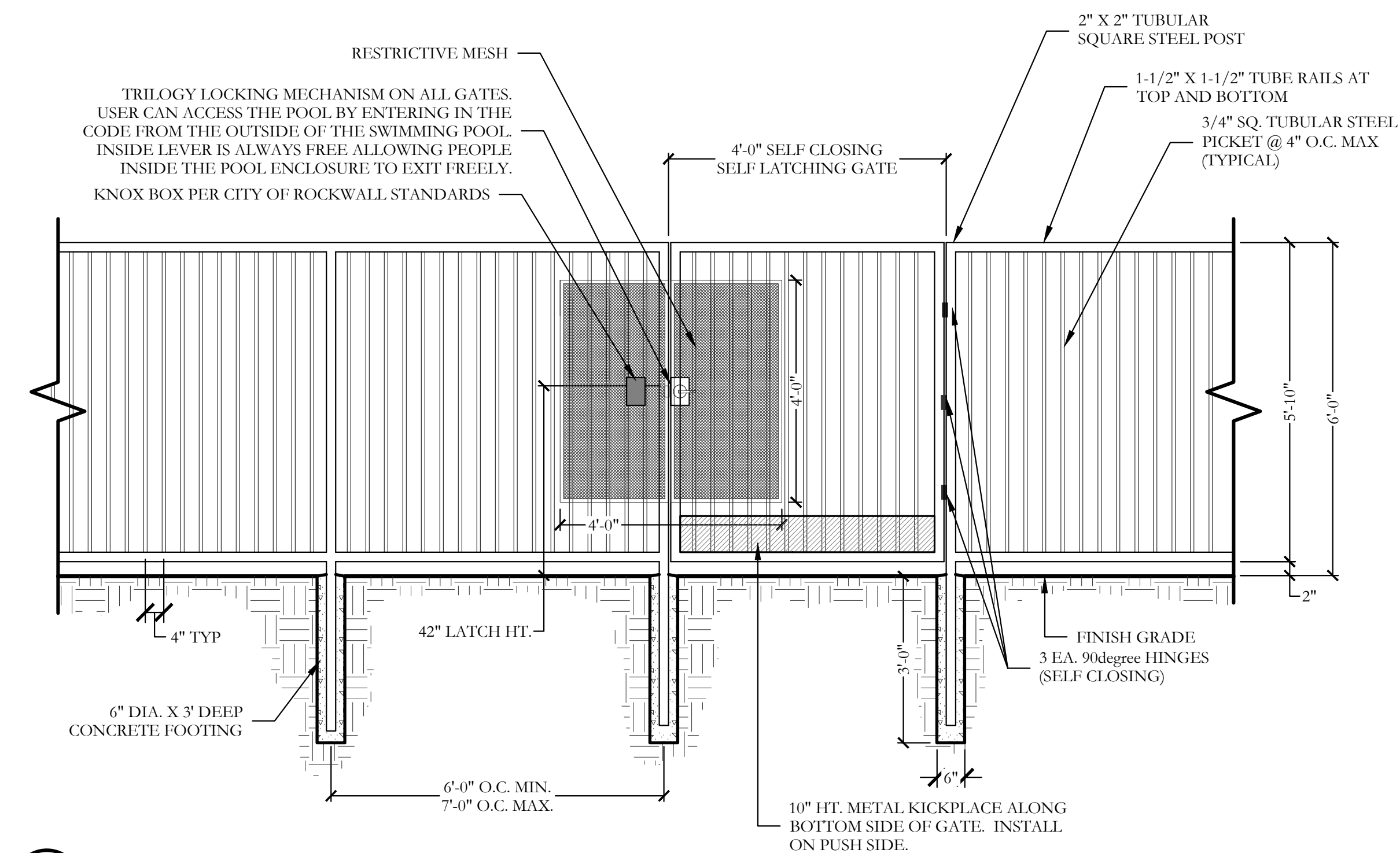
WITNESS OUR HANDS, this ___ day of ___, 2017.

Planning & Zoning Commission, Chairman

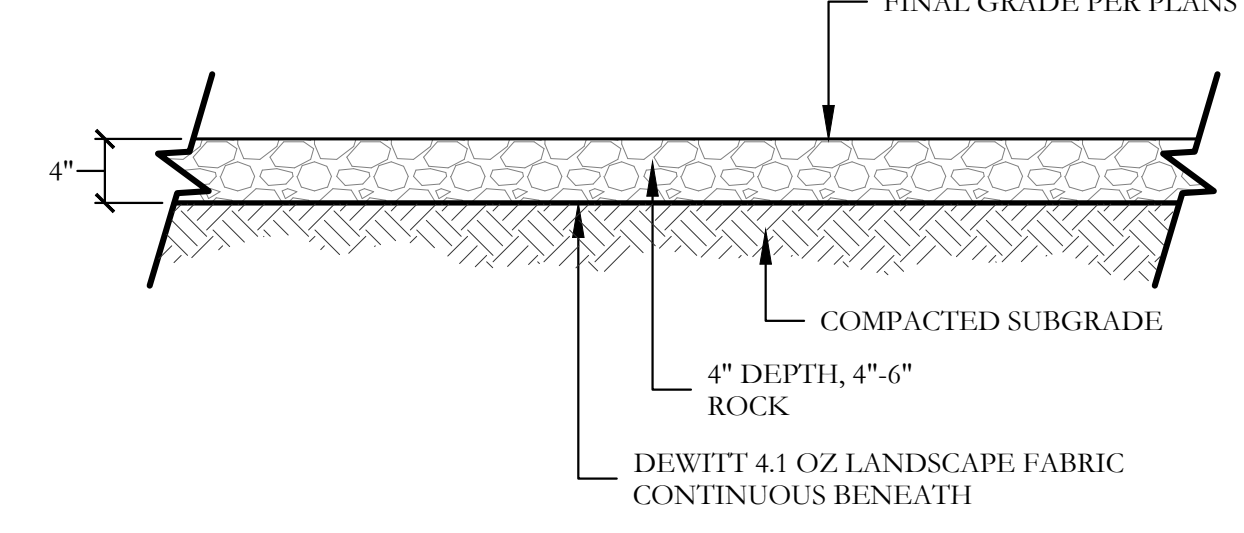
Director of Planning and Zoning



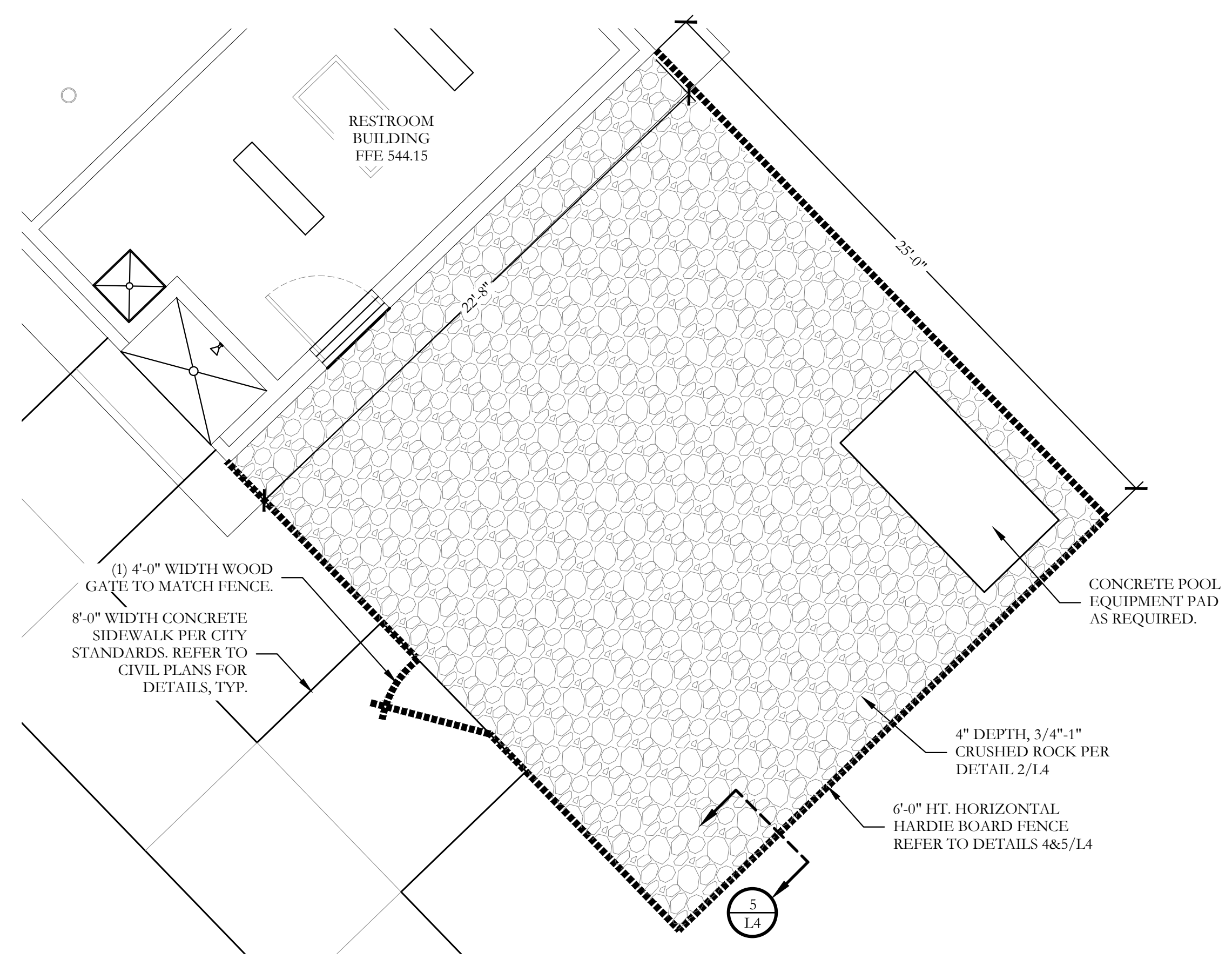
SCALE:
REFER TO
DETAILS
One Inch
JVC No. MJP008



1 ORNAMENTAL METAL FENCE AND GATE ELEVATION SCALE: 1/2" = 1'-0"



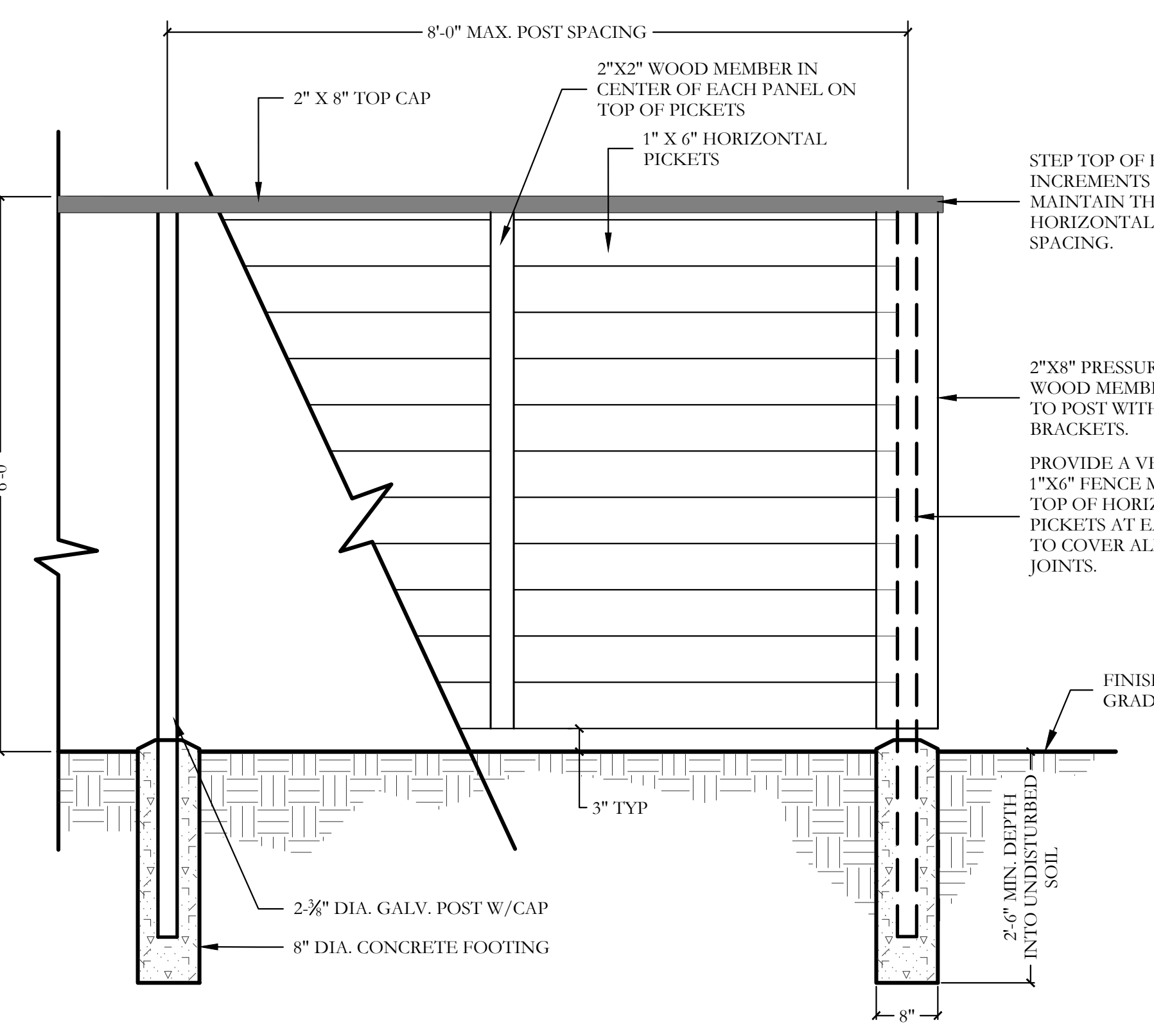
2 CRUSHED ROCK BASE SECTION SCALE: 1" = 1'-0"



3 POOL EQUIPMENT & TRASH TOTE ENCLOSURE PLAN SCALE: 1/4" = 1'-0"

HARDIE BOARD FENCE NOTES

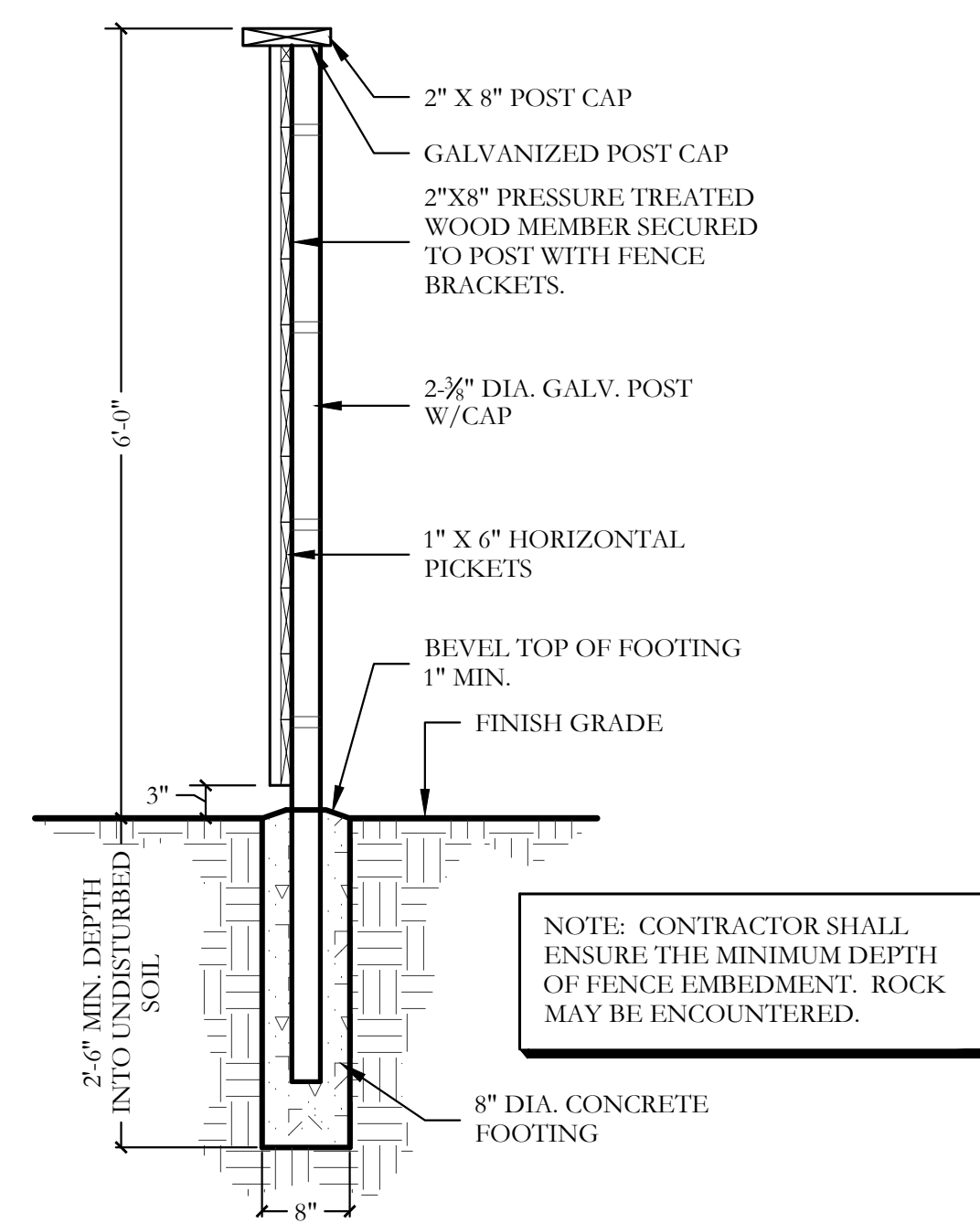
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES VERIFY LOCATION OF ALL UTILITIES WITH THE CITY AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
- ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCKWALL CODES AND REQUIREMENTS.
- WOOD MATERIAL FOR FENCE
 - STRINGERS- CEDAR, #2 GRADE OR BETTER. COLOR TO MATCH PAVILION.
 - PICKETS- CEDAR, #2 GRADE OR BETTER. COLOR TO MATCH PAVILION.
 - CAPS- CEDAR, #2 GRADE OR, BETTER. COLOR TO MATCH PAVILION.
- ALL FENCE POST TO BE SCHEDULE 40 - GALVANIZED.
- ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC. ARE TO BE HOT DIPPED GALVANIZED.
- ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS, STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS, DRILL PILOT HOLES IF NECESSARY. ALL SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. MITER ALL EXPOSED FINISHED JOINTS.
- REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.



4 PARTIAL 6'-0" HT. HARDIE BOARD FENCE ELEVATION SCALE: 3/4" = 1'-0"

ORNAMENTAL METAL FENCE NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
- ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
- ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
- PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
- ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (SW7048) BY SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
- ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513
- HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
- FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - PICKETS, 3/4" SQUARE 16 GA.
 - RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
 - POSTS, 2" SQUARE 11 GA.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
- CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
- GATE IS TO BE SELF-CLOSING. FALCON B561DBD626 SATIN CHROME DANE SFC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL. DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
- POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C AND A MAXIMUM DISTANCE OF 7'-0" O.C.
- POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
- LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
- RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2" AND SHALL



5 6'-0" HT. HARDIE BOARD FENCE SECTION SCALE: 3/4" = 1'-0"

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

PERMITTED BY BUILDING INSPECTORS.

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